

ORDINANCE NO. 4566
File No. Z0318-0027

AN ORDINANCE OF THE CITY OF MESQUITE, TEXAS, AMENDING THE MESQUITE ZONING ORDINANCE ADOPTED ON SEPTEMBER 4, 1973, AND RECODIFIED ON NOVEMBER 21, 1988, SO AS TO APPROVE A CONDITIONAL USE PERMIT ON PROPERTY ZONED AS AN AGRICULTURAL DISTRICT LOCATED AT 4401 EAST CARTWRIGHT ROAD THEREBY ALLOWING A TELECOMMUNICATION TOWER; REPEALING ALL ORDINANCES IN CONFLICT WITH THE PROVISIONS OF THIS ORDINANCE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR A PENALTY NOT TO EXCEED TWO THOUSAND (\$2,000.00) DOLLARS FOR EACH OFFENSE; AND DECLARING AN EMERGENCY.

WHEREAS, the Planning and Zoning Commission of the City of Mesquite and the governing body of the City of Mesquite, in compliance with the Charter of the City of Mesquite and State laws with reference to granting of zoning changes under the Zoning Ordinance Regulations and Zoning Map, have given the requisite notices by publication and otherwise, and after holding due hearings and affording a full and fair hearing to all property owners generally and to the persons interested and situated in the area, the City of Mesquite is of the opinion that the change of zoning may be granted herein.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MESQUITE, TEXAS:

SECTION 1. That the Mesquite Zoning Ordinance adopted on September 4, 1973, and recodified on November 21, 1988, be and the same is hereby amended by amending the Zoning Map of the City of Mesquite so as to approve a Conditional Use Permit on property zoned as an Agricultural District thereby allowing a tri-pole, 100-foot stealth bell telecommunication tower in the rear yard of the subject property, with up to three carriers. A copy of the site plan is attached hereto as Exhibit "A."

That the subject property is described as Christian Center of Mesquite, Block A, Lot 1, and located at 4401 East Cartwright Road.

SECTION 2. That all ordinances, or portions thereof, of the City of Mesquite in conflict with the provisions of this ordinance, to the extent of such conflict are hereby repealed. To the extent that such ordinances or portions thereof not in conflict herewith, the same shall remain in full force and effect.

SECTION 3. That the property described in Section 1 of this ordinance shall be used only in the manner and for the purposes provided for by the Mesquite Zoning Ordinance.

SECTION 4. That should any word, sentence, clause, paragraph or provision of this ordinance be held to be invalid or unconstitutional, the remaining provisions of this ordinance shall remain in full force and effect.

SECTION 5. That any person (as defined in Chapter 1, Section 1-2 of the Code of the City of Mesquite, Texas, as amended) violating any of the provisions or terms of this ordinance shall be deemed to be guilty of a Class C Misdemeanor and upon conviction thereof, shall be subject to a fine not to exceed Two Thousand (\$2,000.00) Dollars for each offense, provided, however, if the maximum penalty provided for by this ordinance for an offense is greater than the maximum penalty provided for the same offense under the laws of the State of Texas, the maximum penalty for violation of this ordinance for such offense shall be the maximum penalty provided by the laws of the State of Texas. Each day or portion of a day any violation of this ordinance continues shall constitute a separate offense.

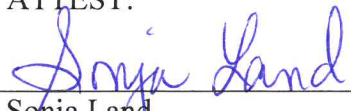
SECTION 6. That the property described in Section 1 of this ordinance requires that it be given the above classification in order to permit its proper development and in order to protect the public interest, comfort and general welfare of the City of Mesquite, creates an urgency and emergency for the preservation of the public health, safety and welfare, and requires that this ordinance shall take effect immediately from and after its passage and publication of said ordinance as the law in such cases provides.

DULY PASSED AND APPROVED by the City Council of the City of Mesquite, Texas, on the 21st day of May, 2018.



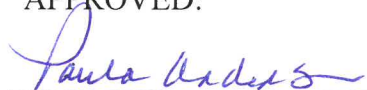
Stan Pickett
Mayor

ATTEST:



Sonja Land
City Secretary

APPROVED:



Paula Anderson
Interim City Attorney

EXHIBIT “A”

Site Plan for Z0318-0027



240 LEIGH FARM ROAD, SUITE 415
DURHAM, NC 27707

ISLAND WREN/TX-0062 T-MOBILE: DA03611

SITE ADDRESS

E911 NOT PROVIDED
MESQUITE, TX 75181

DALLAS COUNTY

LATITUDE: N 32° 43' 27.63" (32.724341°)

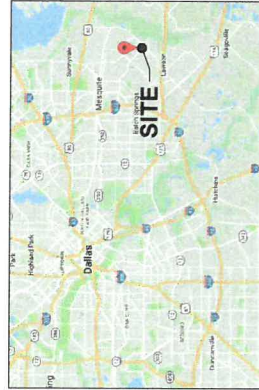
LONGITUDE: W 96° 32' 37.21" (-96.543669°)

TAX/PIN #: 380436500A0010000

ZONING: AGRICULTURAL



TEXAS ONE-CALL
STATE WIDE: 811
CALL BEFORE YOU DIG



VICINITY MAP

DIRECTIONS FROM DALLAS, TX: HEAD ONTO I-45 S AND TAKE EXIT 283-B IN 0.3 MI. IN 0.3 MI. CONTINUE TOWARD US-175 E FOR 1.4 MI. KEEP RIGHT AT THE FORK TO STAY ON US-175 E. FOLLOW SIGN FOR KAUFMAN AND TAKE THE EXIT ONTO I-20 E IN 8.4 MI. 4.1 MI. TAKE EXIT 483 AND MERGE ONTO I-20 FRONTAGE RD IN 0.3 MI. IN 194 FT. TURN LEFT ONTO LAWSON RD AND TURN LEFT ONTO E CARTWRIGHT RD IN 2.0 MI. DESTINATION WILL BE ON THE RIGHT (APPROX. 0.2 MI.).

DRIVING DIRECTIONS

MUNICIPALITY:
CITY OF MESQUITE

STATE:
TEXAS

TOWER TYPE:
STEALTH

TOWER HEIGHT:
100'

NUMBER OF CARRIERS:
(3) PROPOSED CARRIERS

USE:
PROPOSED TELECOMMUNICATION TOWER
AND UNMANNED EQUIPMENT

CONSULTANT
SMW ENGINEERING GROUP
158 BUSINESS CENTER DRIVE
BIRMINGHAM, AL 35244
JEREMY SHARIT, P.E.
(205) 483-1892

PROJECT SUMMARY

DEVELOPER

ECO-SITE
240 LEIGH FARM ROAD, SUITE 415
DURHAM, NC 27707
PHONE: (214) 425-3021
ATTN: RICHARD TAYLOR
EMAIL: RTAYLOR@ECO-SITE.COM

POWER COMPANY
ONGOR

PHONE: 1-888-313-6862
ATTN: CUSTOMER SERVICE

TELEPHONE COMPANY
AT&T

PHONE: 1-800-331-0500
ATTN: CUSTOMER SERVICE

PROPERTY OR TOWER OWNER
CHRISTIAN CENTER MESO.

4401 E. CARTWRIGHT RD
MESQUITE, TX 75181
PHONE: 1-214-797-8195
ATTN: DAN MURPHY

CONTACTS

SUBJECT PROPERTY IS LOCATED IN PANEL
#4811300535K, DATED 01/15/2014 AND IS
IN THE BASE FLOOD ZONE "V" AND IS
NOT IN A SPECIAL FLOOD ZONE.

SHEET	DESCRIPTION	REV.
T1	COVER SHEET	3
-	SITE SURVEY	3
GN1	GENERAL NOTES	3
GN2	GENERAL NOTES	3
C1	OVERALL SITE PLAN	3
C2	SITE PLAN	3
C3	CARRIER EQUIPMENT PAD DETAILS	3
C4	EQUIPMENT PAD PLAN	3
C5	FENCE, GATE, AND COMPOUND DETAILS	3
C6	GRADING AND EROSION CONTROL PLAN	3
C7	GRADING AND EROSION CONTROL DETAILS	3
C8	ACCESS ROAD DETAILS	3
C9	SITE SIGN DETAILS	3
C10	DETAILS	3
C11	ANTENNA AND TOWER ELEVATION DETAILS	3
SHEET INDEX		

APPLICANT/TOWER



240 LEIGH FARM ROAD
DURHAM, NC 27707
OFFICE: (919) 858-6448

PREPARED BY



SMW ENGINEERING GROUP, INC.
158 BUSINESS CENTER DRIVE
BIRMINGHAM, AL 35244
TEL: 205-252-6985 www.smweng.com

REVISIONS

REV	DATE	DESCRIPTION	BY
0	11/21/17	ISSUED FOR CLIENT REVIEW	JOS
1	12/07/17	REVISED PER CLIENT COMMENTS	JOS
2	01/04/18	ISSUED FOR PERMITTING ONLY	JOS
3	01/15/18	REVISED PER CLIENT COMMENTS	JOS

SEAL

CA #: TX F-9617



01/15/2018

IT IS A VIOLATION OF LAW FOR ANY PERSON (LICENSEE) WHO IS ACTING
UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER TO ALTER
OR MODIFY ANY ENGINEERING DESIGN OR DRAWING OR ANY PART THEREOF
WITHOUT THE WRITTEN CONSENT OF THE ENGINEER OR FIRM. ANY SUCH
VIOLATION WILL BE CAUSE FOR THE ENGINEER TO BE DISCIPLINED BY THE
BOARD OF ENGINEERING EXAMINERS. THE ENGINEER ASSUMES ALL LIABILITY ASSOCIATED WITH THE
REUSE, ALTERATION OR MODIFICATION OF THE CONTENTS HEREIN.

PROJECT LOCATION

ISLAND WREN
DAS NOT PROVIDED
MESQUITE, TX 75181

DRAWN BY: JDS

PROJECT #

ECO-SITE PROJECT #

17-2350

TX-0062

DATE

01/15/2018

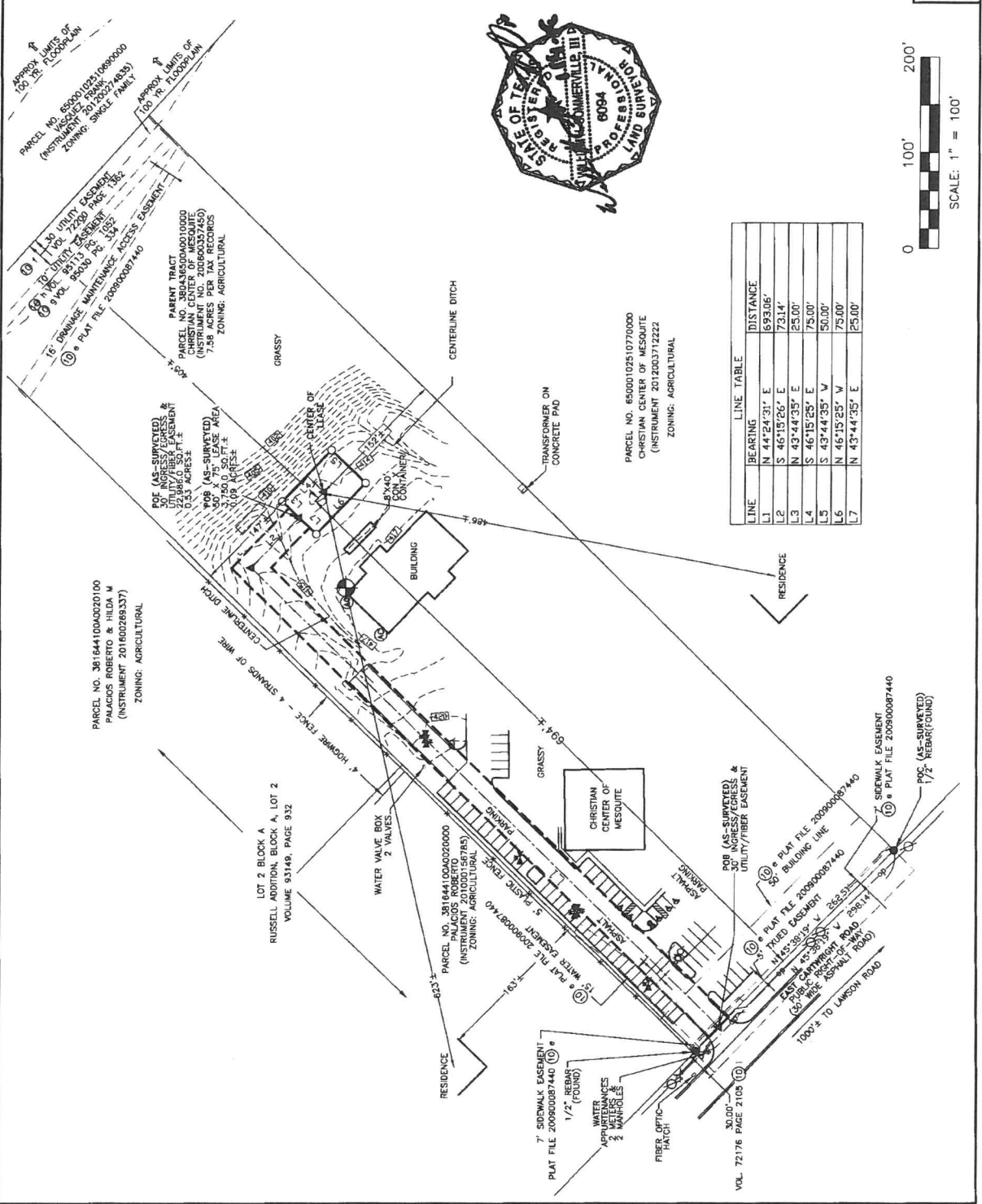
DESCRIPTION SHEET NUMBER

COVER SHEET

REVISION

T1

3

[illegible]

7.565 acres of land situated in the John P. Anderson Survey, Abstract No. 1, City of Mesquite, Dallas County, Texas, described by metes and bounds as follows:

Being a tract of land situated in the John P. Anderson Survey, Abstract No. 1, in the City of Mesquite, Dallas County, Texas, being that same tract of land conveyed to Mary Lee McCoy by deed recorded in Volume 88119, Page 3156 of the Deed Records of Dallas County, Texas, and being more particularly described by metes and bounds as follows:

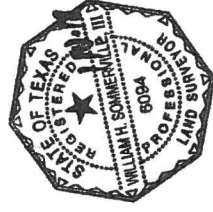
Beginning at 1/2 inch iron rod set for corner with a yellow cap stamped (DC&A INC) in the Northeast right-of-way line of East Cartwright Road (60 feet ROW), said point being the South corner of Lot 2, Block A of Russell Addition, on addition to the City of Mesquite, Dallas County, Texas, according to the plat recorded in Volume 93147, Page 332 of the Map Records of Dallas County, Texas, same being the West corner of herein described tract, Thence North 45 degrees 00 minutes 00 seconds East, along the Southeast line of said Lot 2, a distance of 1094.27 feet to a 1/2 inch iron rod set for corner with a yellow cap stamped (DC&A INC) in the Southwest line of a tract of land conveyed to Mary Vasquez by deed recorded in Volume 2005003, Page 1902 of the Deed Records of Dallas County, Texas, pointing being the East corner of said Lot 2, same being the North corner of herein described tract, Thence South 41 degrees 13 minutes 55 seconds East, along the Southwest line of said Vasquez tract, a distance of 300.23 feet to a 1/2 inch iron rod found for corner, said point being the North 45 degrees 00 minutes 00 seconds East corner of herein described tract, Thence North 45 degrees 00 minutes 00 seconds East, along the Northwest line of said Kryka tract, a distance of 1105.95 feet to a 5/8 inch iron rod found for corner in the Northeast right-of-way line of said East Cartwright Road, said point being the West corner of said Kryka tract, same being the South corner of herein described tract, Thence North 45 degrees 00 minutes 00 seconds West, along the Northeast right-of-way line of said East Cartwright Road, a distance of 300 feet to the Point of Beginning and containing 330,034.49 square feet or 7.5765 acres of land.

A portion of that certain tract of land conveyed to Christian Center of Mesquite, as described and recorded in Instrument No. 200600357450, in the City of Mesquite, Dallas County, Texas, and lying in the John P. Anderson Survey, Abstract No. 1, being more particularly described as follows:

Commencing at a 1/2" rebar found on the Northeast right of way of East Cartwright Road, said point being the Southeast corner of said tract conveyed to Christian Center of Mesquite, thence N 43°38'19" W along said right of way a distance of 262.51 feet to a point; thence leaving said right of way, N 44°24'31" E a distance of 693.06 feet to a point; thence S 46°15'26" E a distance of 73.14 feet to a point; thence N 43°44'35" E a distance of 25.00 feet to a 5/8" rebar set; thence S 46°15'25" E a distance of 75.00 feet to a 5/8" rebar set; thence S 43°44'35" W a distance of 30.00 feet to a 5/8" rebar set; thence N 46°15'25" E a distance of 75.00 feet to a 5/8" rebar set; thence N 43°44'35" E a distance of 25.00 feet to the point of Beginning. Said above described Lease Area contains 3,750.00 square feet or 0.09 acres, more or less.

A portion of that certain tract of land conveyed to Christian Center of Mesquite, as described and recorded in Instrument No. 200600357450, in the City of Mesquite, Dallas County, Texas, and lying in the John P. Anderson Survey, Abstract No. 1, being more particularly described as follows:

Commencing at a 1/2" rebar found on the Northeast right of way of East Cartwright Road, said point being the Southeast corner of said tract conveyed to Christian Center of Mesquite, thence N 45.3819° W along said right of way a distance of 262.51 feet to the Point of Beginning of a 30' ingress/Egress & Utility/Fiber Easement being 31' in width and lying 15 feet each side of the following described centerline; thence N 44°24'31" E a distance of 693.06 feet to a point; thence S 45°15'26" E a distance of 73.14 feet to the Point of Ending. Said above described Easement contains 22,986.0 square feet, or 0.53 acres, more or less.



1. This is a Rawland Tower Survey, made on the ground under the supervision of an Texas Registered Land Surveyor. Date of field survey is August 18, 2017.

1. Reflecting surveying instrument used at time of field visit: Nikon NPL-352, Total Station, Leica.
2. Bearings and distances used in this survey: Texas North Central State Plane Coordinates NAD 83 by GPS observation.
3. Bearings and distances used in this survey: Texas North Central State Plane Coordinates NAD 83 by GPS observation.
4. No underground utilities, underground encroachments or building foundations were measured or located as part of this survey, unless otherwise shown. Trees and shrubs not located, unless otherwise shown.
5. Benchmark used is a GPS Continuously Operating Reference Station, DM7145. Onsite benchmark is as shown hereon. Elevations shown are in feet and refer to NAVD 88.
6. This survey was conducted for the purpose of a Rowland Tower Survey only, and is not intended to delineate the regulatory jurisdiction of any federal, state, regional or local agency, board, commission or other similar entity.
7. Attention is directed to the fact that this survey may have been reduced or enlarged in size due to reproduction. This should be taken into consideration when obtaining scaled data.
8. This Survey was conducted with the benefit of an Abstract Title search.
9. Surveyor hereby states the Geodetic Coordinates and the elevation shown for the proposed centerline of the tower are accurate to within +/- 20 feet horizontally and to within +/- 3 feet vertically (FAA Accuracy Code 1A).
10. Survey shown hereon conforms to the Minimum Requirements as set forth by the State Board for a Class "A" survey.
11. Field data upon which this map or plat is based has a closure precision of not less than one-foot in 15,000 feet (1":15,000') and an angular error that does not exceed 10 seconds times the square root of the number of angles turned. Field traverse was not adjusted.
12. This survey is not valid with the original signature and the original seal of a state licensed surveyor and mapper.
13. This survey does not constitute a boundary survey of the Parent Tract. Any parent tract property lines shown hereon are from supplied information and may not be field verified.
14. Per provided information the site is zoned Agricultural.
15. Distances from the proposed tower location to nearest residences are approximate based on aerial photography.

Old Republic Title Insurance Company
Commitment for Title Insurance Commitment No. 01-17057872
Date July 27, 2017
Schedule B Exceptions from Coverage

Exception No.	Instrument	Comment
1-g	N/A	Standard exceptions. Contains no survey matters.
①-a-d	N/A	Standard exceptions. Contains no survey matters.
e	Easements, Building Lines, Restrictions Plat in Clerk's File No.200900087440	Does affect Parent Tract and Access Easement. As shown.
f	Easement by James W. McCoy Volume 72200, Page 1382	Does affect Parent Tract only. As shown.
g	Easement by Marvin & Susan Overstreet, Volume 95030, Page 334	Does affect Parent Tract only. As shown.
h	Easement by Mary Lee McCoy, to City of Mesquite, Volume 95113, Page 1062	Does affect Parent Tract only. As shown.
i	Easement by B.W. Cruise, David Cole, to City of Mesquite, Volume 72176, Page 2105	Does not affect Parent Tract or its Associative Easement.

I hereby certify to ECO-SITE that a Survey was made by me, or under my direct supervision, on the grounds of the Lease Area, and Associated Easement premises herein described, and the results of said survey are represented hereon to the best of my professional knowledge and belief.

William D. Smith

William H. Sommerville, III
Texas License No. 6094

ISLAND WREN
TX-0062
JOHN P. ANDERSON SURVEY, ABSTRACT NO. 1
DALLAS COUNTY, TEXAS

DETAIL 1
GN-2

- ELECTRICAL INSTALLATION NOTES (CONT.):

- DETAIL
- | | |
|---|------|
| 2 | GN-2 |
|---|------|

KEYED NOTES: (SEE GROUNDING PLAN DIAGRAM - SHEET E-2)

- GREENFIELD GROUNDING NOTES:

DETAIL 3 GN-2

- SEAL CA#:

REV	DATE	DESCRIPTION	BY
0	11/21/17	ISSUED FOR CLIENT REVIEW	JOS
1	12/07/17	REVISED PER CLIENT COMMENTS	JOS
2	01/04/18	ISSUED FOR PERMITTING ONLY	JOS
3	01/15/18	REVISED PER CLIENT COMMENTS	JOS

GF A



01/15/2018

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PROJECT LOCATION

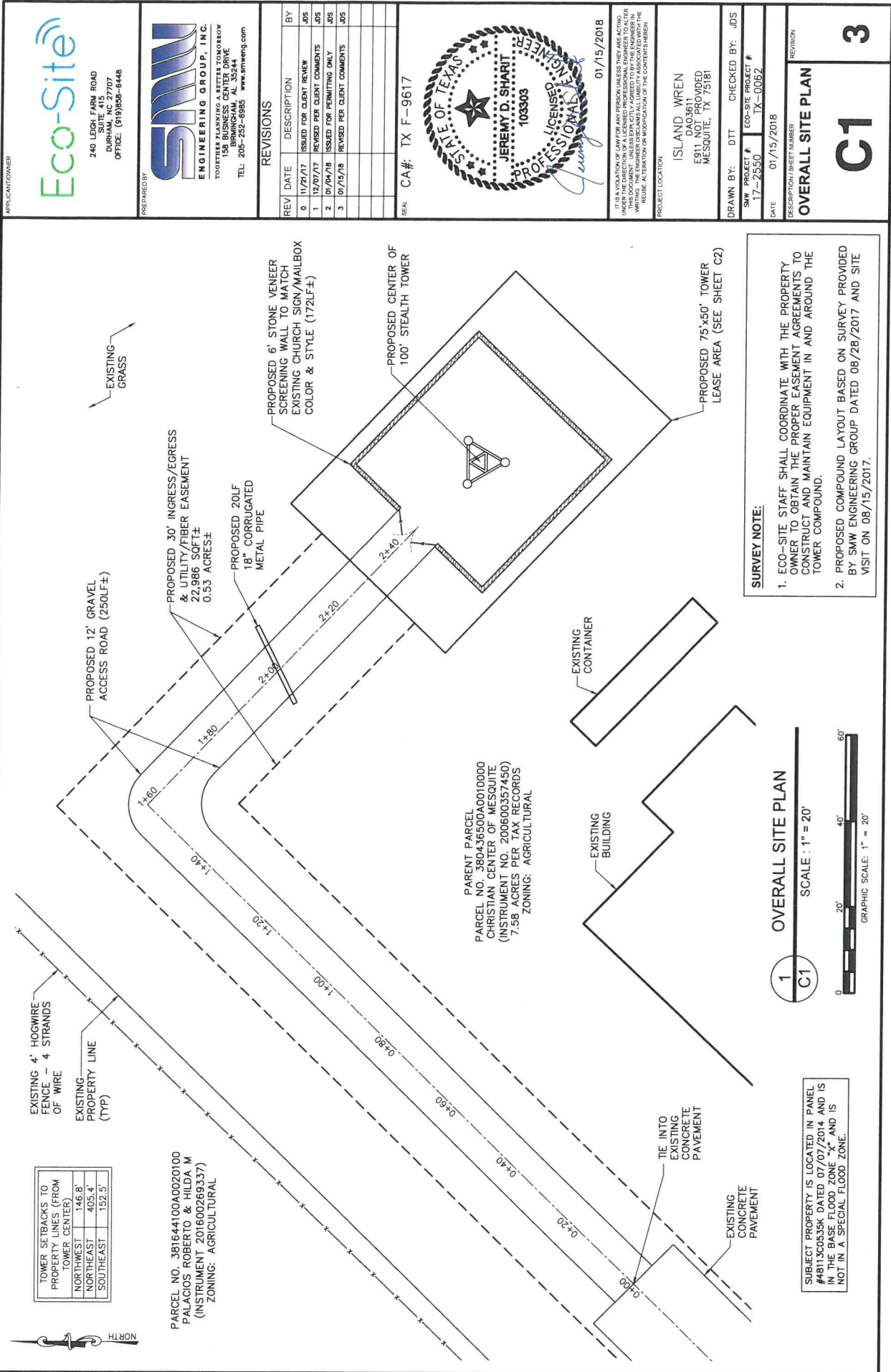
LAND WREN
DA03611
NOT PROVIDED
QUITE, TX 75181

DRAWN BY: DTT CHECKED BY: JDS
 SNW PROJECT #: ECO-SITE PROJECT #:
 17-2550 TX-0062

DATE 01/15/2018

GENERAL NOTES

GN2
3



GENERAL NOTES:

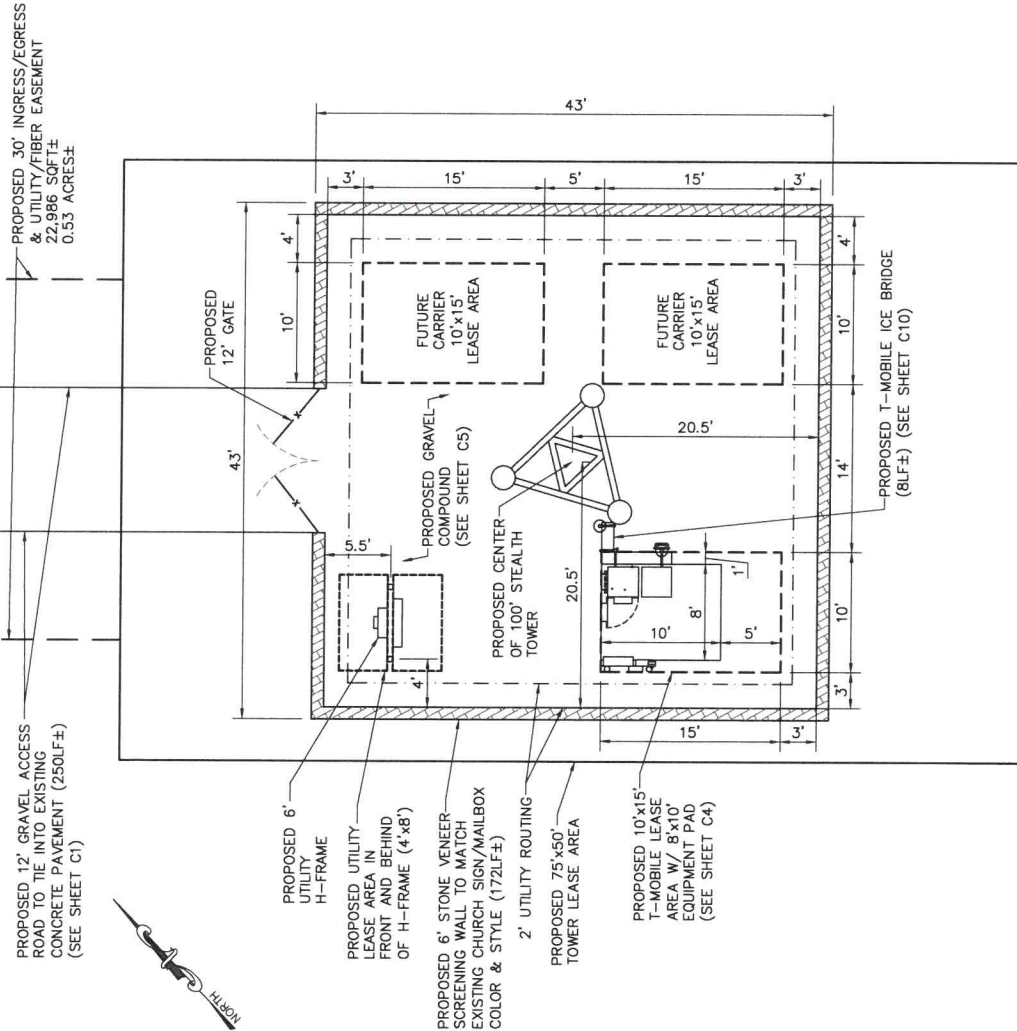
1. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE DRAWINGS AND SPECIFICATIONS. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE STATE, LOCAL AND NATIONAL CODES, ORDINANCES AND OR REGULATIONS APPLICABLE TO THIS PROJECT.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE WORK OF ALL TRADES AND SHALL CHECK ALL DIMENSIONS, ALL WORK, ALL MATERIALS AND ALL CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR THE ECO-SITE CONSTRUCTION MANAGER AND/OR ENGINEER SO THAT THERE IS NO CONFLICT BETWEEN DRAWING AND ECO-SITE SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR THE ECO-SITE CONSTRUCTION MANAGER AND/OR ENGINEER SO THAT THERE IS NO CONFLICT BETWEEN DRAWING AND ECO-SITE SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR THE ECO-SITE CONSTRUCTION MANAGER AND/OR ENGINEER SO THAT THERE IS NO CONFLICT BETWEEN DRAWING AND ECO-SITE SPECIFICATIONS.
3. ALL INFORMATION SHOWN ON THE DRAWINGS RELATIVE TO EXISTING CONDITIONS SHALL BE BASED ON THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL INFORMATION.
4. CONTRACTOR SHALL REVIEW AND BE FAMILIAR WITH SITE CONDITIONS AS SHOWN ON THE ATTACHED SITE PLAN AND/OR SURVEY DRAWINGS.
5. WAVEGUIDE BRIDGE AND PRE-FAB SHELTER ARE SHOWN FOR REFERENCE ONLY. REFER TO SEPARATE PRE-ENGINEERED DRAWINGS FOR MORE INFORMATION INCLUDING FOOTINGS AND WAVEGUIDE BRIDGE LOCATION.
6. ALL FINISHED GRADES SHALL SLOPE MINIMUM 1/4 IN./FT. AWAY FROM EQUIPMENT IN ALL DIRECTIONS. CONTRACTOR SHALL SLOPE SWALES TO DRAIN AWAY FROM EQUIPMENT. TERRAIN TO DRAIN AWAY FROM COMPOUND AND ACCESS DRIVE.
7. THE PROPOSED TOWER AND TOWER FOUNDATIONS WERE DESIGNED BY THE ENGINEER FOR THE TOWER FOUNDATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL INFORMATION.
8. THE CONTRACTOR SHALL PROVIDE ADEQUATE EXCAVATION SLOPING, SHORING, BRACING, AND GUYS IN ACCORDANCE WITH ALL NATIONAL, STATE, AND LOCAL SAFETY ORDINANCES.
9. UPON COMPLETION OF CONSTRUCTION, CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES TO THE EXISTING PAVEMENT AND TO THE EXISTING UTILITIES. ANY NEW FILL MATERIALS SHALL BE COMPACTED.
10. THE CONTRACTOR IS HEREBY NOTIFIED THAT PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL REQUEST A VERIFICATION OF THE CONSTRUCTION SITE OF THE LOCATIONS OF THEIR UNDERGROUND UTILITIES AND WHERE THEY MAY POSSIBLY CONFLICT WITH THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE UTILITY COMPANIES OF ANY SUBCONTRACTOR FOR THIS CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE UTILITY COMPANIES OF ANY SUBCONTRACTOR FOR THIS CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE UTILITY COMPANIES OF ANY SUBCONTRACTOR FOR THIS CONTRACT.
11. CONTRACTOR TO PROVIDE DUMPSTER AND PORTABLE TOILET FACILITY DURING CONSTRUCTION.
12. CONTRACTOR TO PROVIDE STYME LOCK OR EQUIVALENT AS APPROVED BY ECO-SITE CONSTRUCTION MANAGER.

SURVEY NOTE:

1. ECO-SITE STAFF SHALL COORDINATE WITH THE PROPERTY OWNER TO OBTAIN THE PROPER EASEMENT AGREEMENTS TO CONSTRUCT AND MAINTAIN EQUIPMENT IN AND AROUND THE TOWER COMPOUND.
2. PROPOSED COMPOUND LAYOUT BASED ON SURVEY PROVIDED BY SNW ENGINEERING GROUP DATED 08/28/2017 AND SITE VISIT ON 08/15/2017.

COAX NOTE:

1. ROUTE COAX UP TOWER PER TOWER DESIGN DRAWING BY TOWER OWNER.



1 SITE PLAN
C2 SCALE: 1" = 10'



APPLICANT/OWNER



240 LEDY FARM ROAD
SUITE 415
DURHAM, NC 27707
OFFICE: (919)558-6448

PREPARED BY



TOOTHBUSH KLEINBERG & BETTER TOWERS
158 BUSINESS CENTER DRIVE
BIRMINGHAM, AL 35244
TEL: 205-232-9865 www.snweng.com

REVISIONS

REV	DATE	DESCRIPTION	BY
0	11/21/17	ISSUED FOR CLIENT REVIEW	JOS
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SEAL

CA#: TX F-9617



01/15/2018

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PROJECT LOCATION

ISLAND WREN
E911 NOT PROVIDED
MESQUITE, TX 75181

DRAWN BY: JDS
CHECKED BY: JDS
SNW PROJECT #
ECO-SITE PROJECT #
17-2550
TX-0062

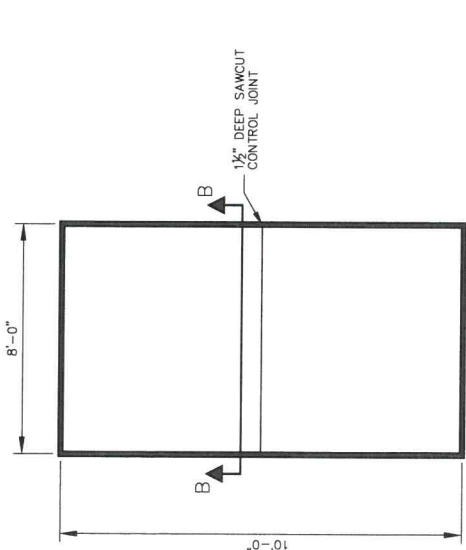
DATE 01/15/2018

DESCRIPTION SHEET NUMBER

SITE PLAN

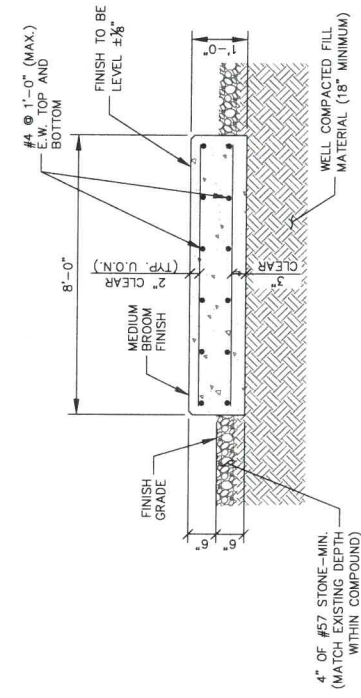
C2

3



EQUIPMENT PAD FOUNDATION PLAN
 SCALE: NTS
1 C3

NOTES:
 1. REFER TO THE SITE PLAN ON SHEET C2 FOR EQUIPMENT PAD LOCATION AND ORIENTATION.



EQUIPMENT PAD FOUNDATION SECTION B - B
 SCALE: NTS
2 C3

GENERAL

- FOUNDATIONS ARE DESIGNED FOR A PRESUMPTIVE ALLOWABLE SOIL BEARING CAPACITY OF 2,000 PSF. CONTRACTOR SHALL VERIFY SOIL CONDITIONS AND BEARING CAPACITY PRIOR TO CONSTRUCTION.
- EXCAVATE A MINIMUM 18" BELOW PROPOSED EQUIPMENT FOUNDATIONS OF EXPANSIVE, ORGANIC, UNCONSOLIDATED OR OTHERWISE UNACCEPTABLE MATERIAL AND REPLACE WITH WELL-COMPACTED MATERIAL ACCEPTABLE TO THE ECO-SITE CONSTRUCTION MANAGER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING, PROTECTING, AND RELOCATING AS REQUIRED ALL SERVICES AND UTILITIES IN VICINITY OF THE WORK SITE. ALL EXCAVATIONS NEAR THESE LINES TO BE CARRIED OUT WITH EXTREME CAUTION. COORDINATE ALL RELOCATIONS WITH THE PROPERTY OWNER.
- CONTRACTOR TO CUT/FILL EXISTING COMPOUND SUBSOIL TO PROVIDE AN AREA AS LEVEL AS POSSIBLE FOR THE EQUIPMENT FOUNDATIONS. ALL FILL AREAS ARE TO BE FILLED WITH SUITABLE MATERIALS. FILL MATERIALS ARE TO BE PLACED, COMPACTED, AND TESTED IN MAXIMUM LAYERS OF 8". COMPACTION OF ALL FILL MATERIAL SHALL ACHIEVE 95 PERCENT OF MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT IN ACCORDANCE WITH ASTM D 698. ALL TESTS MUST MEET THE MINIMUM SPECIFIED SOIL BEARING CAPACITY. COMPACTION TESTING IS BY THE GEOTECHNICAL TESTING COMPANY DESIGNATED FOR THE PROJECT. SCHEDULING COORDINATION IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. REPORTS OF ALL TESTING ARE TO BE PROMPTLY DELIVERED OR FAXED TO THE ECO-SITE CONSTRUCTION MANAGER.

MATERIALS

- CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS AND SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST REVISION TO ACI-318 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE.
- CONCRETE SHALL HAVE A SLUMP BETWEEN 3" AND 6".
- REINFORCING BARS SHALL CONFORM TO THE LATEST REVISION OF ASTM-A615 GRADE 60 SPECIFICATIONS AND BE DETAILED IN ACCORDANCE WITH THE LATEST REVISION TO ACI-318.
- AT THE REQUEST OF THE ECO-SITE CONSTRUCTION MANAGER, TEST CYLINDERS SHALL BE MOLDED AND LABORATORY CURED IN ACCORDANCE WITH ASTM C31. FIVE CYLINDERS SHALL BE TAKEN FOR EACH DAY'S CONCRETE PLACEMENT. CYLINDERS SHALL BE TESTED IN ACCORDANCE WITH THE LATEST REVISION TO ASTM C39.
- CHAMFER ALL EXPOSED EXTERNAL CORNERS OF CONCRETE WITH 3/4" x 45° CHAMFER, UNLESS OTHERWISE NOTED.
- CONCRETE FORMWORK IS TO BE STRIPPED WITHIN 48 HOURS. VIBRATION OF THE CONCRETE MUST ASSURE THAT HONEYCOMBING WILL BE AT A MINIMUM. MECHANICAL VIBRATION OF ALL CONCRETE IS REQUIRED UNLESS OTHERWISE DIRECTED BY ECO-SITE CONSTRUCTION MANAGER. ABOVE GRADE CONCRETE IS TO BE RUBBED AND BROOM FINISH. SAND FINISH AT TIME OF FORMS REMOVAL. CONTRACTOR SHALL PROVIDE A BROOM FINISH ON THE TOP SURFACE OF THE EQUIPMENT FOUNDATION UNLESS OTHERWISE DIRECTED BY THE ECO-SITE CONSTRUCTION MANAGER.

ELECTRICAL

- CONTRACTOR SHALL REFER TO DRAWINGS OF OTHER TRADES AND VENDOR DRAWINGS FOR EMBEDDED ITEMS AND RECESSES NOT SHOWN ON THE STRUCTURAL DRAWINGS. CONTRACTOR SHALL VERIFY PLACEMENT OF EQUIPMENT AND LOCATION OF CONDUIT FOR MANUFACTURERS AND VENDORS SPECIFICATIONS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL OPENINGS AND SLEEVES FOR PROPER DISTRIBUTION OF ALL UTILITIES.

TOLERANCES

- TOPS OF CONCRETE FOUNDATION MUST BE WITHIN 0.02' OF ELEVATION REQUIRED.

3 C3
FOUNDATION NOTES

APPLICANT/OWNER



PREPARED BY



REVISIONS

REV	DATE	DESCRIPTION	BY
0	11/21/17	ISSUED FOR CLIENT REVIEW	JOS
1	12/07/17	REVISED PER CLIENT COMMENTS	JOS
2	10/04/18	ISSUED FOR PERMITTING ONLY	JOS
3	07/03/18	REVISED PER CLIENT COMMENTS	JOS

SEAL

CA#: TX F-9617



01/15/2018

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PROJECT LOCATION

ISLAND WREN
 DAO3611
 5911 DOWNSIDE ROAD
 MESQUITE, TX 75181

DRAWN BY: DTT CHECKED BY: JOS

SWW PROJECT # ECO-SITE PROJECT #

17-2550 TX-0062

DATE 01/15/2018

DESCRIPTION / SHEET NUMBER

CARRIER EQUIPMENT

PAD DETAILS

REVISION

C3

3

APPLICANT/OWNER

Eco-Site

240 LEBY FARM ROAD
SUITE 415
DURHAM, NC 27707
OFFICE: (919)556-6448

PREPARED BY:

SM
ENGINEERING GROUP, INC.
TWO EIGHTER KASKING A STREET TUCKER
BIRMINGHAM, AL 35244
TEL: 205-253-9965 www.smeng.com

REVISIONS

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3	01/15/18	REVISED PER CLIENT COMMENTS	JDS

SEAL CA#: TX F-9617



01/15/2018

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PROJECT LOCATION:

ISLAND WREN
RD 75611
E911 NOT PROVIDED
MESQUITE, TX 75181

DRAWN BY: DTT CHECKED BY: JDS

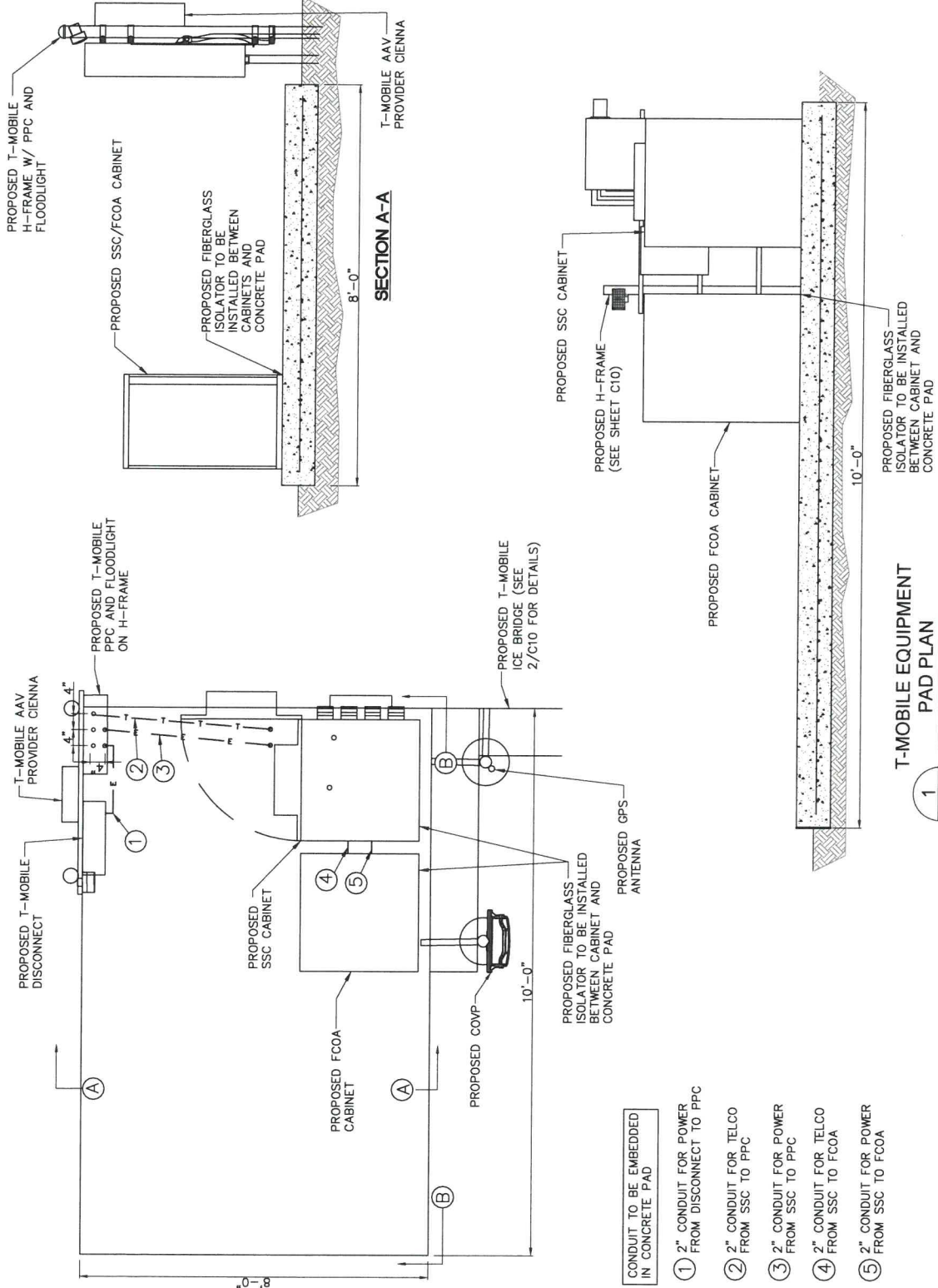
SW: PROJECT # ECO-SITE PROJECT #
17-2550 TX-0062

DATE 01/15/2018

DESCRIPTION: SHEET NUMBER

EQUIPMENT PAD PLAN

C4 **3**



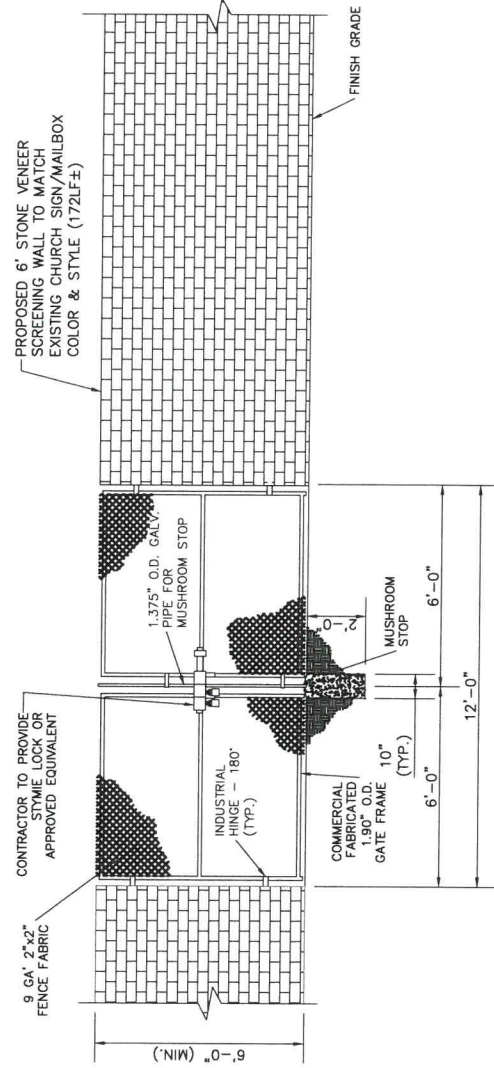
T-MOBILE EQUIPMENT PAD PLAN

1 C4

SCALE: NTS

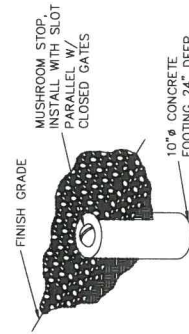
FENCE NOTES

- USE 3,000-PSI CONCRETE, FULLY CONSOLIDATED AROUND THE POST.
- WHERE THE POST IS SET IN ROCK OR CONCRETE, CORE A HOLE 12" DEEP AND 1" LARGER DIAMETER THAN THE POST. SET THE POST AND POUR IN PLACE USING NON-SHRINK GROUT.
- ALL POSTS MUST BE PLUMB AND ALIGNED WITH ONE ANOTHER IN BOTH HORIZONTAL AND VERTICAL PLANES.
- CORNERS AND GATEPOSTS FOR MAIN FENCE LINE MUST EXTEND ABOVE THE TOP STRAND OF BARBED WIRE TO PROVIDE TENSIONING FOR THE BARRED WIRE.
- PROVIDE MIDRAILS AND BRACING AT ALL CORNER POSTS WHERE THE FENCE CHANGES DIRECTION FROM MORE THAN TWO DEGREES. THE GRADE OF THE STONE SHALL PROVIDE FOR NO MORE THAN A 1" GAP BETWEEN THE BOTTOM OF THE FENCE MATERIAL AND FINISH GRADE.
- CONTRACTOR SHALL PROVIDE HOLD OPEN DEVICES FOR ALL GATES. THE DEVICES MUST BE IN POSITIONS, DRIVER PIPE TYPE RECEIVERS ARE NOT AUTHORIZED.
- CONTRACTOR SHALL ALSO PROVIDE A MUSHROOM TYPE RECEIVER AT THE CLOSE POSITION.



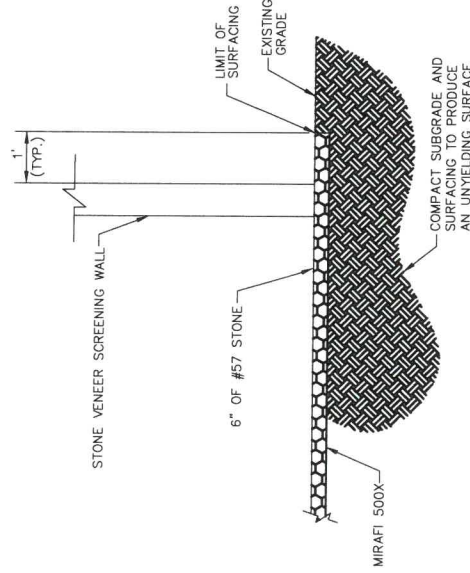
1 STONE VENEER WALL AND GATE ELEVATION

NOT TO SCALE



2 MUSHROOM STOP

NOT TO SCALE



NOT TO SCALE

APPLICANT/TOWNER

Eco-Site
240 LEIGH FARM ROAD
DURHAM, NC 27707
OFFICE: (919)558-6448

PREPARED BY

SHM
ENGINEERING GROUP, INC.
1358 BUSINESS CENTER DRIVE
BIRMINGHAM, AL 35244
TEL: 205-252-6985 www.shmeng.com

REVISIONS

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3	01/15/18	REVISED PER CLIENT COMMENTS	JDS

SEAL CA#: TX F-9617



01/15/2018

FOR AN INDICATION OF ANY PERSON'S NAME'S KEY AND ANY OTHER INFORMATION, THE ENGINEER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION. THE ENGINEER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION. THE ENGINEER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION.

PROJECT LOCATION

ISLAND WREN
DAG-9611
E911 DUTCHMAN ROAD
MESQUITE, TX 75181

DRAWN BY: DTT CHECKED BY: JDS

SW PROJECT # ECO-SITE PROJECT #
17-2550 TX-0062

DATE 01/15/2018

DESCRIPTION SHEET NUMBER

FENCE GATE AND
COMPOUND DETAILS

C5

3

APPLICANT/OWNER

Eco-Site

240 LENO FARM ROAD
SUITE 415
DURHAM, NC 27707
OFFICE: (919)558-6448

PREPARED BY



TOOTHILL PLANNING & INTERIOR DESIGN
158 BUSINESS CENTER DRIVE
BIRMINGHAM, AL 35244
TEL: 205-252-9865 www.swmeng.com

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PROJECT LOCATION

ISLAND WREN
E911 NOT PROVIDED
MESQUITE, TX 75181

DRAWN BY: JDS

DTT

CHECKED BY: JDS

SWM PROJECT #

E911 NOT PROVIDED

DATE

01/15/2018

DESCRIPTION / SHEET NUMBER

17-2550

TX-0062

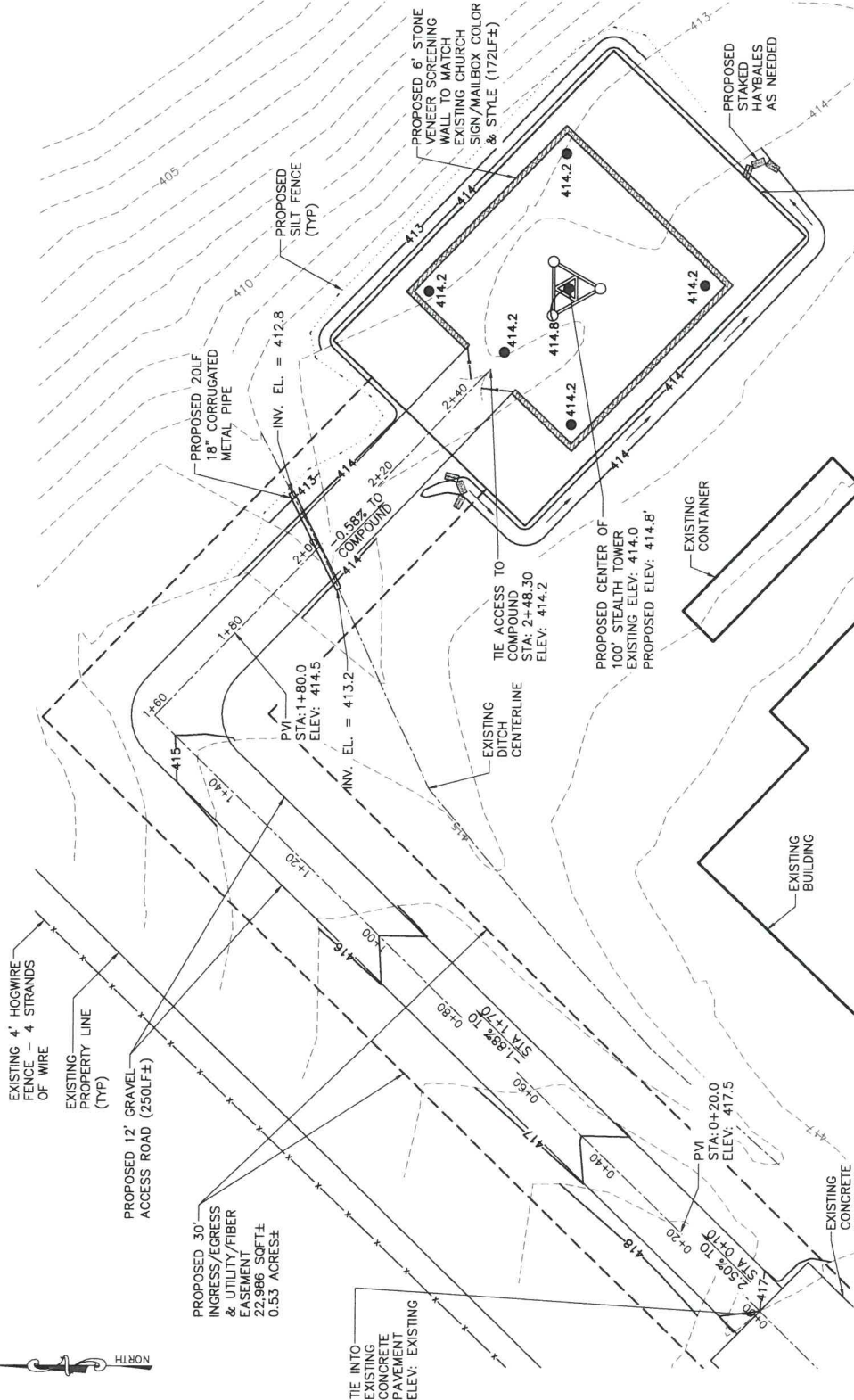
REVISION

3



1 C6 GRADING & EROSION CONTROL PLAN

SCALE: 1" = 20'



LEGEND	
EXISTING CONTOURS	---
PROPOSED CONTOURS	---
SILT FENCE	---
EXISTING SPOT ELEVATION	x
PROPOSED SPOT ELEVATION	•

NOTE: CURRENT DESIGN ANTICIPATES APPROXIMATELY 6600 SQ. FT. (0.15 ACRES) OF CLEARING AND 16000 SQ. FT. (0.36 ACRES) OF GRASS SEEDING. ADDITIONAL CLEARING AND SEEDING MAY BE REQUIRED. WHAT IS SHOWN IN THE PLANS IS THE CONTOUR SHALL NOTIFY THE ENGINEER AND/OR CONSTRUCTION MANAGER. IF DURING THE BID WALK OR CONSTRUCTION IT IS DETERMINED THAT MORE THAN (1) ACRE OF LAND IS TO BE DISTURBED FOR CONSTRUCTION AN EROSION AND SEDIMENTATION CONTROL PLAN MUST BE FILED 30 DAYS PRIOR TO CONSTRUCTION.

APPLICANT/OWNER

Eco-Site
240 LEIGH FARM ROAD
SUITE 415
DURHAM, NC 27707
OFFICE: (919)556-6448

PREPARED BY

SM
ENGINEERING GROUP, INC.
TOGETHER PLANNING A BETTER TOMORROW
158 BUSINESS CENTER DRIVE
DURHAM, NC 27707
TEL: 205-252-6885 www.smeng.com

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PROJECT LOCATION

ISLAND WREN
DA03611
E911 NOT PROVIDED
MESQUITE, TX 75181

DRAWN BY: DTT CHECKED BY: JDS

SAW PROJECT # ECO-SITE PROJECT #
17-2550 TX-0062

DATE: 01/15/2018

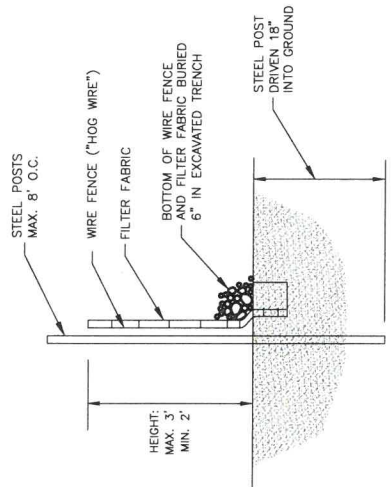
DESCRIPTION / SHEET NUMBER

**GRADING & EROSION
CONTROL DETAILS**

C7

3

- EROSION CONTROL NOTES:**
1. EROSION CONTROLS SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND SHALL BE ADEQUATE TO MAINTAIN SEDIMENT ON SITE.
 2. ALL EXPOSED SOILS MUST BE PROTECTED ON SITE FOR BACKFILL OPERATIONS. ALL SOILS SHALL BE TAKEN OFF SITE AND LEGALLY DISPOSED OF.
 3. SOIL REMAINING ON SITE SHALL HAVE SILT FENCE TIGHTLY PLACED AGAINST THE EXISTING EROSION CONTROL.
 4. PROVIDE EROSION CONTROLS AS NECESSARY TO PREVENT EXISTING SOILS FROM DRAINING OFF SITE OR INTO EXISTING DRAINAGE STRUCTURES.
 5. ERECTION OF EROSION CONTROLS SHALL BE IN ACCORDANCE WITH STATE AND LOCAL EROSION CONTROL REGULATIONS.



SECTION

2 SEDIMENT FENCE (SILT FENCE)

NOT TO SCALE

1 NOT USED

1 C7

APPLICANT/OWNER

Eco-Site
240 LEIGH FARM ROAD
SUITE 415
DURHAM, NC 27707
OFFICE: (919)658-6448

PREPARED BY

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ENGINEERING GROUP, INC.
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158 BUSINESS CENTER DRIVE
BIRMINGHAM, AL 35244
TEL: 205-252-0905
www.smeng.com

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PROJECT LOCATION

ISLAND WREN
DA03611
E911 NOT PROVIDED
MESQUITE, TX 75181

DRAWN BY: DTT CHECKED BY: JOS

SAW PROJECT # ECO-SITE PROJECT #
17-2550 TX-0062

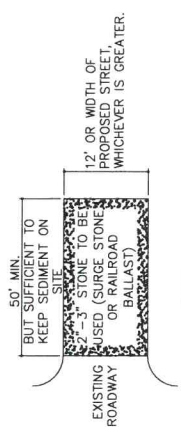
DATE 01/15/2018

DESCRIPTION: SHEET NUMBER

**ACCESS ROAD
DETAILS**

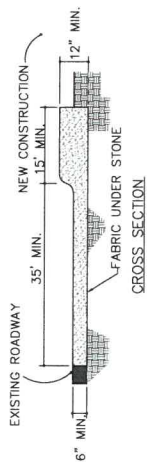
C8

3



PLAN

- NOTES:
1. PUT SILT FENCE OR TREE PROTECTION FENCE UP TO ENSURE CONSTRUCTION ENTRANCE IS USED.
 2. IF CONSTRUCTION ON THE SITES ARE SUCH THAT THE MUD IS NOT REMOVED BY THE VEHICLE TRAVELING OVER THE STONE, THEN THE TIRES OF THE VEHICLES MUST BE WASHED BEFORE ENTERING THE PUBLIC ROAD.
 3. IF A PROJECT CONTINUES TO PULL MUD AND DEBRIS ON TO THE PUBLIC ROAD, THE GOVERNING AUTHORITY WILL CLEAN THE AREA AND INVOLVE THE GOVERNING AUTHORITY'S RESPONSIBLE PERSON AS INDICATED ON THE FINANCIAL RESPONSIBILITY FORM.



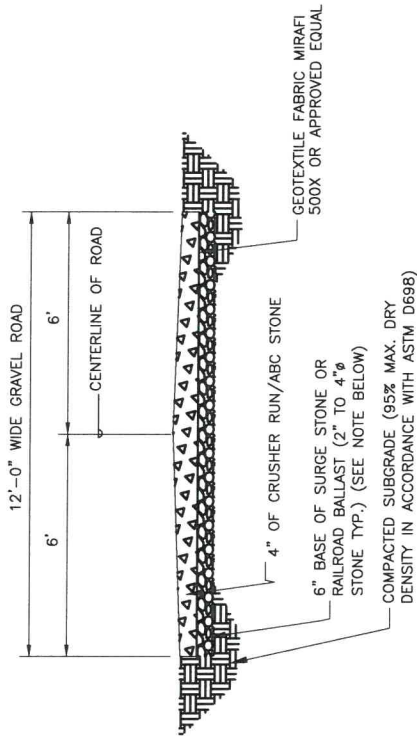
1 CONSTRUCTION ENTRANCE

NOT TO SCALE

2 C8

STANDARD ACCESS ROAD DETAIL

NOT TO SCALE



NOTE:
IF DETERMINED NECESSARY DURING GRADING AND CONSTRUCTION OF THE ACCESS ROAD BY THE ECO-SITE PROJECT MANAGER, THE CONTRACTOR SHALL INSTALL 6" BASE OF SURGE STONE OR RAILROAD BALLAST (2" TO 4" STONE TYP.)

APPLICANT/OWNER

Eco-Site
240 LEDCH FARM ROAD
SUITE 415
DURHAM, NC 27707
OFFICE: (919)558-6448

PREPARED BY

SM
ENGINEERING GROUP, INC.
TOGETHER PLANNING A BETTER TOMORROW
158 BUSINESS CENTER DRIVE
BIRMINGHAM, AL 35244
TEL: 205-252-9565 www.smeng.com

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SEAL CA#: TX F-9617



01/15/2018

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PROJECT LOCATION

ISLAND WREN
1365 W. 13TH ST.
E911 NOT PROVIDED
MESQUITE, TX 75181

DRAWN BY: JDS

SW PROJECT # 17-2550

ECCO-SITE PROJECT # TX-0062

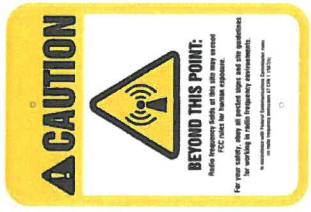
DATE 01/15/2018

DESCRIPTION SHEET NUMBER

**SITE SIGN
DETAILS**

C9

3



③ CAUTION - RF SIGN (YELLOW)
12" x 18" DIGITAL PRINT MOUNTED TO 0.40
THICK ALUMINUM (OPERATIONS PROVIDED)



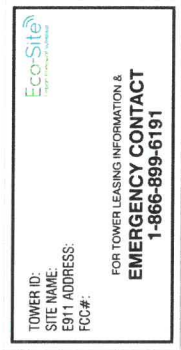
② WARNING - RF SIGN
12" x 18" DIGITAL PRINT MOUNTED TO 0.40
THICK ALUMINUM (OPERATIONS PROVIDED)



① NOTICE - RF SIGN (BLUE)
12" x 18" DIGITAL PRINT MOUNTED TO 0.40
THICK ALUMINUM (OPERATIONS PROVIDED)



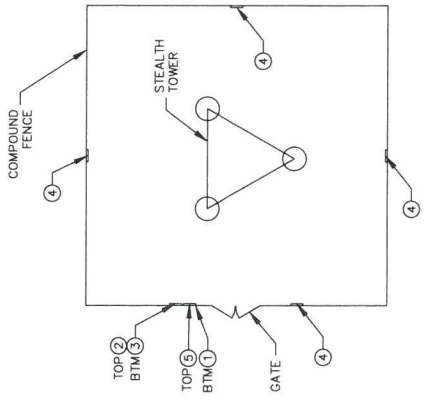
④ NO-TRESPASSING SIGN
12" x 18" DIGITAL PRINT MOUNTED TO 0.40
THICK ALUMINUM (OPERATIONS PROVIDED)



⑤ ECO-SITE ID SIGN
18" HIGH X 24" WIDE
(OPERATIONS PROVIDED)

2 TYPICAL SIGNS AND SPECIFICATIONS

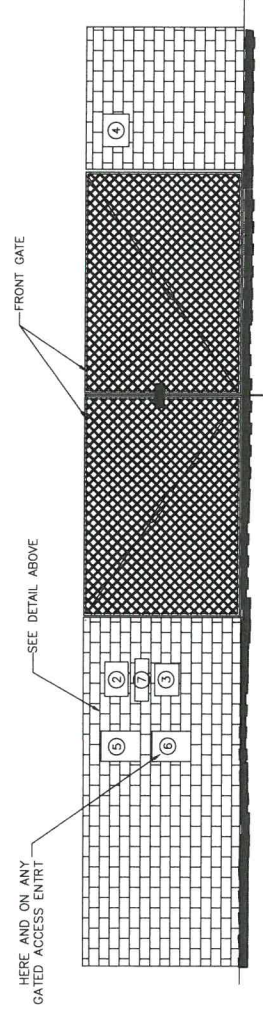
NOT TO SCALE



NOTE: SEE TYPICAL SIGNS AND SPECIFICATIONS
DETAIL ON THIS SHEET FOR SIGN DESIGNATIONS.

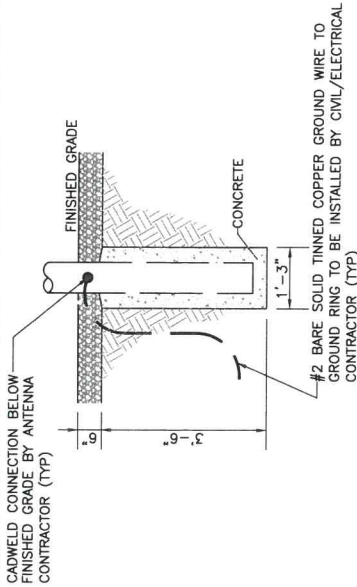
**1 OVERALL SIGN
PLACEMENT PLAN VIEW**

NOT TO SCALE



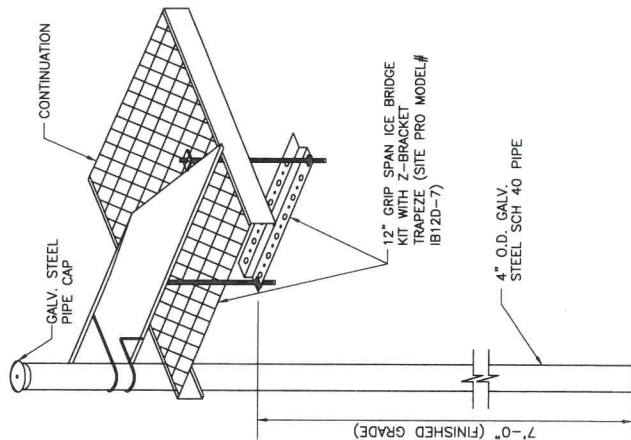
3 SITE SIGNAGE FRONT GATE VIEW

NOT TO SCALE



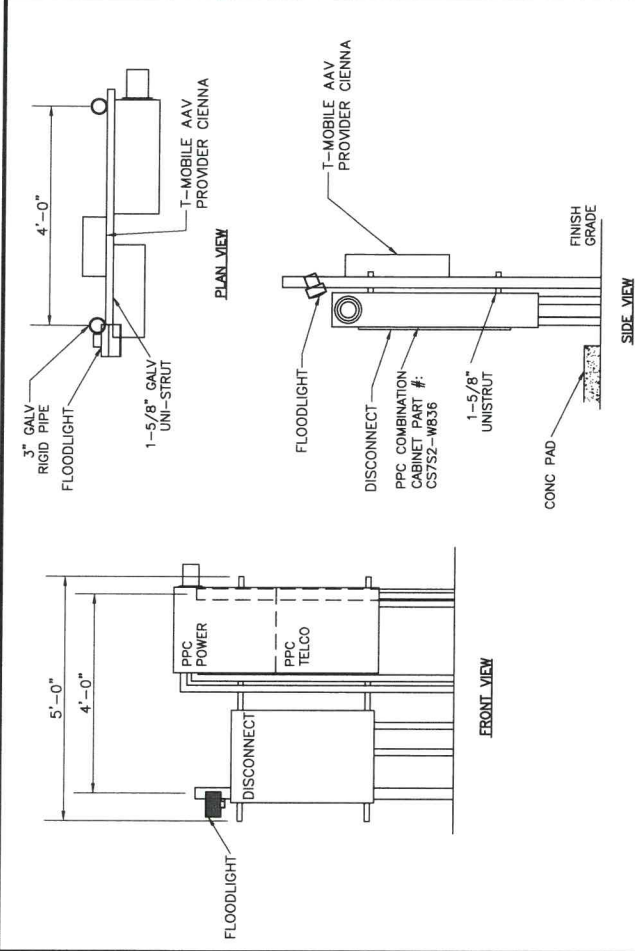
1 H-FRAME SUPPORT POST/ICE BRIDGE (CONCRETE PIER)

NOT TO SCALE



2 WAVEGUIDE BRIDGE DETAIL

NOT TO SCALE



3 H-FRAME DETAIL

NOT TO SCALE

APPLICANT/OWNER

Eco-Site

240 LEBY FARM ROAD
SUITE 415
DURHAM, NC 27707
OFFICE: (919)556-6448

PREPARED BY

SM

ENGINEERING GROUP, INC.
TOGETHER PLANNING A BETTER TOMORROW
158 BUSINESS CENTER DRIVE
BIRMINGHAM, AL 35244
TEL: 205-252-9965 www.smeng.com

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SEAL

CA# TX F-9617

STATE OF TEXAS

JEREMY D. SHARIFF

103303

PROFESSIONAL ENGINEER

01/15/2018

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PROJECT LOCATION

ISLAND WREN

10000 W. 100TH AVE
MESQUITE, TX 75181

DRAWN BY: DTT CHECKED BY: JDS

SAW PROJECT # ECO-SITE PROJECT #

17-2550 TX-0062

DATE 01/15/2018

DESCRIPTION SHEET NUMBER

REVISION

C10

3

Eco-Site

240 LEIGH FARM ROAD
SUITE 415
DURHAM, NC 27707
OFFICE: (919)858-6448



ENGINEERING GROUP, INC.
TOGETHER PLANNING A BETTER TOMORROW
158 BUSINESS CENTER DRIVE
BIRMINGHAM, AL 35244
TEL: 205-252-6985 www.stmweg.com

REVISIONS

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CA#: TX F-9617



01/15/2018

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PROJECT LOCATION

ISLAND WREN
DA03611
E911 NOT PROVIDED
MESQUITE, TX 75181

SMW PROJECT #	ECO-SITE PROJECT #
17-2550	TX-0062

DRAWN BY: DTT CHECKED BY: JDS

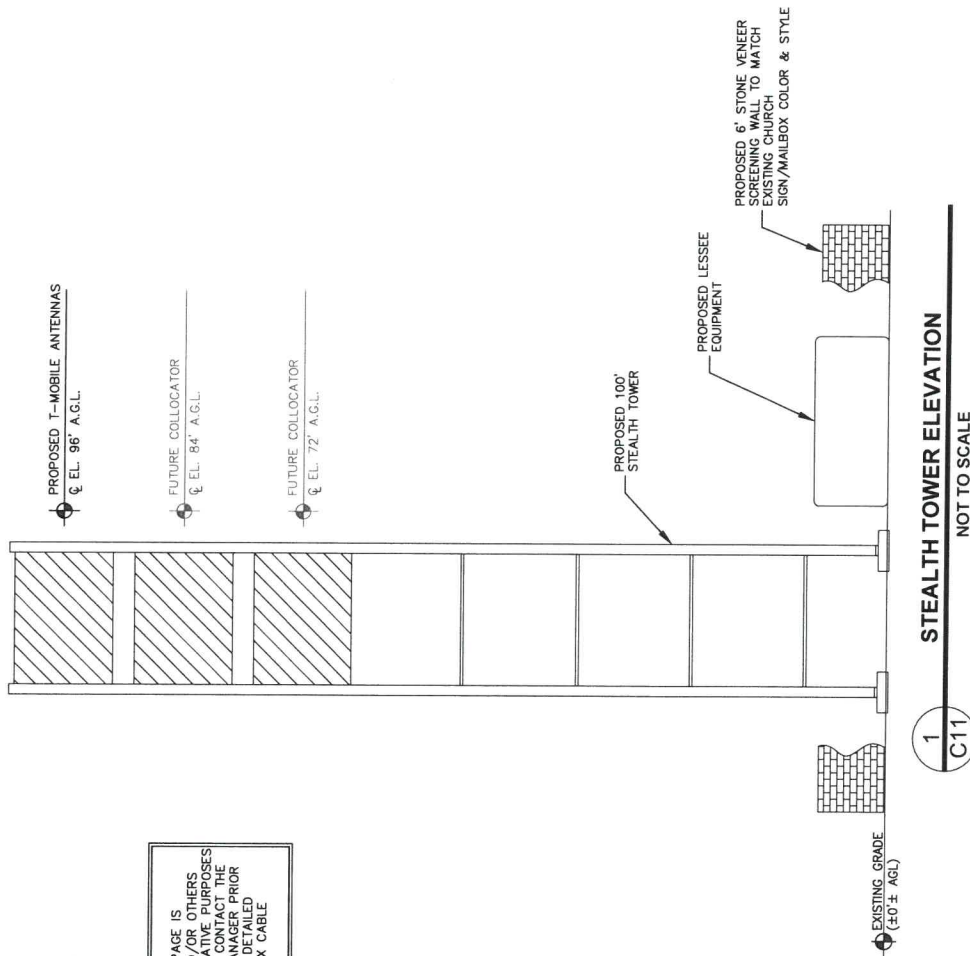
01/15/2018

REVISION:

ANTENNA AND TOWER ELEVATION DETAILS

C113

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ALL INFORMATION ON THIS PAGE IS PROVIDED BY ECO-SITE AND/OR OTHERS AND IS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. CONTRACTOR SHALL CONTACT THE ECO-SITE CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION FOR ALL DETAILED ANTENNA, MOUNT, AND COAX CABLE INFORMATION.



1
C11