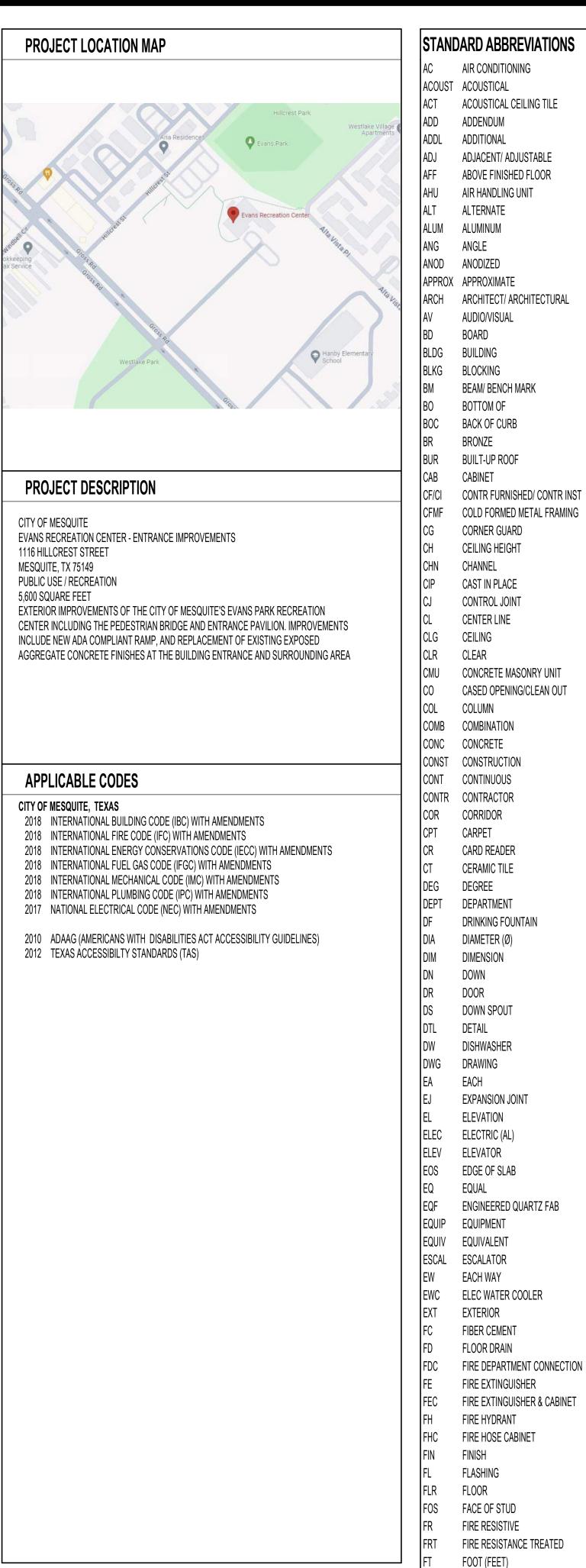
# **MESQUITE EVANS PARK RECREATION CENTER ENTRANCE IMPROVEMENTS 1116 HILLCREST ST. ISSUED FOR PRICING** MESQUITE, TX 75149 03/29/24



# **RFP# 2024-084**

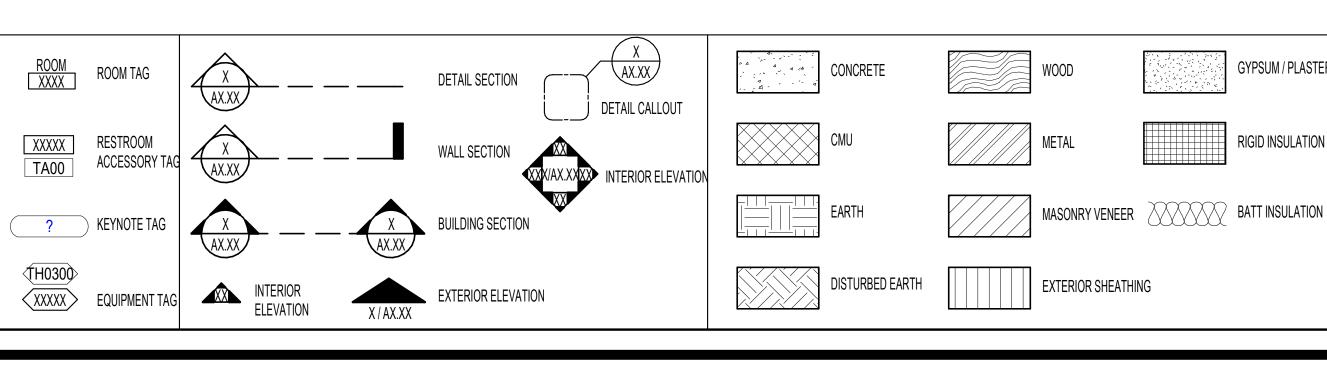
FOOTING

	STAND	OARD ABBREVIATIONS		NDARD ABBREVIATIONS	GE	NERAL NOTES	SHEET INDE	X
	FU FXT	FURR/ FURRING FIXTURE	PT QT	POINT QUARRY TILE	1	PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBL		
	GA	GAUGE	R	RISER/ RADIUS		TO VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED		SHEET N/
		GALVANIZED	RA	RETURN AIR		NO CONSTRUCTION OR FABRICATION OF ANY ITEM SHALL BEGIN UNTIL THE		
	GC	GENERAL CONTRACTOR	RAD	RADIUS		CONTRACTOR HAS RECEIVED ALL PLANS AND ANY OTHER DOCUMENTATION FRO ALL OF THE PERMITTING AND ANY OTHER REGULATORY AUTHORITIES. FAILURE		
	GDR	GUARDRAIL	RD			THE CONTRACTOR TO FOLLOW THIS PROCEDURE SHALL CAUSE THE CONTRACT	R	EXISTING PHOTOS
	GEN	GENERAL	RE:	REFER/ REFERENCE		TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATION OF THE WORK MANDATED BY ANY REGULATORY AUTHORITY.	DEMOLITION	
	GFRC GI	GLASS FIBER REINF CONC GALVANIZED IRON	RECP REF	T RECEPTACLE REFRIGERATOR		WORK WANDATED DI ANT RECOLATORI ACTIONITI.	DA1.01	DEMOLITION SITE PLAN
	GL	GLASS/GLAZING	REIN		2	CONTRACTOR WILL BE HELD TO HAVE STUDIED THE DRAWINGS, TO HAVE VISITE	DA2.10	DEMOLITION FLOOR PLANS
	GT	GLASS TILE	REQE			THE SITE, AND TO HAVE SATISFIED HIMSELF REGARDING ALL EXISTING		
	GYP	GYPSUM	REV	<b>REVISED/ REVISION</b>		CONDITIONS UNDER WHICH HE WILL BE OBLIGED TO OPERATE.	ARCHITECTURAL	
	HC	HANDICAP	RM	ROOM	3	THESE CONTRACT DOCUMENTS ARE ABBREVIATED IN CONTENT. THE	A0.01 A1.00	2012 TAS ACCESSIBILITY GUIDELINES SITE PLAN
	HCWD	HOLLOW CORE WOOD	RO	ROUGH OPENING		CONTRACTOR AND SUBCONTRACTORS ARE RESPONSIBLE FOR REVIEWING AND	A1.00	RAMP PLAN, ELEVATION, AND DETAILS
	HDR HDWR	HANDRAIL HARDWARE	RS RST	ROUGH SAWN RESILIENT STAIR TREAD		UNDERSTANDING SCOPE, SITE VISITS, AND ANY VERIFICATION OF SCOPE, DETAIL	S, A1.20	SITE DETAILS
	HM	HOLLOW METAL	RSV	RIGID SHEET VINYL		EXISTING CONDITIONS, ETC. PERTAINING TO SCOPE OF WORK SHOWN HERE. NO ADDITIONAL COST WILL BE ALLOWED FOR CONDITIONS NOT BROUGHT TO THE	A2.10	ANNOTATION FLOOR PLANS
	HORZ	HORIZONTAL	RTU	ROOF TOP UNIT		ATTENTION OF ARCHITECT.	A2.50	ENLARGED FLOOR PLANS
	HP	HIGH POINT	SA	SUPPLY AIR			A4.10	EXTERIOR ELEVATIONS & SECTIONS
	HRDBD	HARDBOARD	SAC	SUSP ACOUST CLG	4	ALL WORK SHALL COMPLY WITH APPLICABLE STATE AND LOCAL CODES. ALL	A11.00	3D PERSPECTIVES
	HRDWD	HARDWOOD	SCHE			NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY THE OWNER.	STRUCTURAL	
	HT	HEIGHT	SCWE				STRUCTURAL S1.01	STRUCTURAL NOTES
	HVAC HVY	HEATING/VENTILATION/ AC HEAVY	SECT	SECTION SHEET RUBBER	5	CONTRACTOR SHALL NOT SCALE DRAWINGS.	S1.01	STRUCTURAL ABBREVIATIONS
т	ID	INSIDE DIAMETER	SHK	SHEET RUBBER			S2.01	ENTRANCE PLAN
G	IG	INSIDE DIAMETER	SHV	SHEET VINYL	6	REFER TO PROJECT MANUAL FOR SPECIFICATIONS FOR PRODUCTS AND	S3.01	SECTIONS AND DETAILS
	IN	INCH	SIM	SIMILAR		ASSEMBLY NOTES IN DRAWINGS AND NOTIFY ARCHITECT OF ANY DISCREPENCI OR DIFFERENCES, PRIOR TO PROCEEDING WITH WORK.	53.UZ	SECTIONS AND DETAILS
	INST	INSTALL/ INSTALLATION	SOG	SLAB ON GRADE			S4.01	PHOTOGRAPHS
	INSUL	INSULATION	SP	STAND PIPE	7	CONTRACTOR SHALL INCLUDE ALL LABOR, MATERIALS, EQUIPMENT, FIXTURES A		
	INT	INTERIOR	SPEC	SPECIFICATION		SERVICE NECESSARY FOR THE PROPER EXECUTION OF THE WORK AS SHOWN C		
	J-BOX	JUNCTION BOX	SPKL	-		THE PLANS.		
	JAN		SQ	SQUARE	0	IT SHALL BE THE CONSTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS (		
	JG	JAMB GUARD JOIST	SS SSF	STAINLESS STEEL	0	ALL UTILITIES WITHIN THE LIMITS OF THE WORK PRIOR TO THE START OF THE SI		
	JST	JOINT	SSF ST	SOLID SURFACE FABRICATION SMOKE TIGHT		WORK. ALL DAMAGES MADE TO THE EXISTING UTILITIES BY THE CONTRACTOR	-	
	KP	KEYPAD	STC	SOUND TRANSMISSION CLASS		SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.		
	LAM	LAMINATE	STD	STANDARD				
	LAV	LAVATORY	STL	STEEL	9	ALL MATERIALS AND EQUIPMENT INCORPORATED IN THE WORK SHALL BE NEW A ALL WORK SHALL BE OF GOOD QUALITY, FREE FROM FAULTS AND IN	1D	
	LB	LOCAL BUILD (OR BY CONTR)	STN	STONE		CONFORMANCE WITH THE PLANS.		
	LF	LINEAR FEET	STRU	CT STRUCTURE				
	LL	LEAD LINED	SUSP	SUSPENDED	10	ALL WORK SHALL BE PERFORMED IN A FINISHED AND WORKMANLIKE MANNER TO		
	LLH	LONG LEG HORZ	SWP	SHEET WALL PROTECTION		THE ENTIRE SATISFACTION OF THE OWNER AND ARCHITECT AND IN ACCORDANC WITH THE BEST RECOGNIZED TRADE PRACTICES.		
	LLV	LONG LEG VERT	SYM	SYMMETRICAL		WITH THE BEST RECOGNIZED TRADE FRACTICES.		
	LT LVT	LIGHT LUXURY VINYL TILE	SYS	SYSTEM TREAD	11	CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF EXIST AND NEW		
	MACH	MACHINE		TOILET ACCESSORY		WORK. ANY WORK DAMAGE FOR ANY REASON SHALL BE REPLACED AT NO COST		
	MAINT	MAINTENANCE	TC	TOP OF CURB		TO THE OWNER.		
	MAS	MASONRY	TEL	TELEPHONE				
	MAX	MAXIMUM	TEMP	TEMPORARY/ TEMPERATURE	12	PROVIDE AND INSTALL ALL NECESSARY PROTECTIVE DEVICES REQUIRED TO PROTECT ANY OWNER FURNISHED EQUIPMENT INSTALLED PRIOR TO THE		
	MCWD	MINERAL CORE WOOD	TMP	TEMPERED		COMPLETION OF THE WORK.		
	MDF	MEDIUM DENSITY FIBERBOARD	TO	TOP OF				
	MECH	MECHANICAL	TOB	TOP OF BEAM	13	CONTRACTOR TO PROVIDE ELEC POWER IN ACCORDANCE WITH REQUIREMENTS		
	MEP	MECH/ ELEC/ PLBG	TOC	TOP OF CONCRETE		OF THE INDICATED ELEC CODE AND LOCAL GOVERNING CODES.		
	MFR MHO		TOF	TOP OF FOOTING				
	MHO MIN	MAGNETIC HOLD OPEN MINIMUM	TOP TOS	TOP OF PARAPET TOP OF STEEL/ STRUCTURE		CONTRACTOR SHALL SUPERVISE THE WORK AND COORDINATE ALL PORTIONS THEREOF.		
	MIN	MISCELLANEOUS	TOW	TOP OF STEEL/ STRUCTURE				
	MO	MASONRY OPENING	TP	TOILET PARTITION	15	CONTRACTOR SHALL KEEP THE PREMISES FREE FROM ACCUMULATION OF WAST	E	
	MSG	MFR STD GA	TRZ	TERRAZZO		MATERIALS OR RUBBISH CAUSED BY HIS OPERATIONS. AT THE COMPLETION OF		
	MTL	METAL	TS	TRANSITION/ TRANSITION STRIP		THE WORK HE SHALL PERFORM A FINAL CLEAN-UP, INSIDE AND OUT, CLEAN ALL GLASS SURFACES AND LEAVE THE PROJECT AREA CLEAN.		
	MTR	METER	Π	TILE TRIM				
	NIC	NOT IN CONTRACT	TXR	TRANSFORMER	17	CONTRACTOR SHALL GUARANTEE FOR (1) YEAR THAT ALL OF THE WORK UNDER		
	NO	NUMBER	TYP			THE CONTRACT IS FREE FROM FAULTY MATERIALS, WATER-TIGHT AND		
	NOM					LEAK-PROOF IN EVERY PARTICULAR AND FREE FROM IMPROPER WORKMANSHIP		
		NONCOMBUSTIBLE	UG	UNDERGROUND	1			
	NR NTS	NOT RATED NOT TO SCALE	UL UNO	UNDERWRITERS LABORATORY UNLESS NOTED OTHERWISE				
	OC	ON CENTER	UNU	UPPER				
	OD	OUTSIDE DIA/ OVERFLOW DRAIN	VAC	VACUUM	1			
	OF/CI	OWNER FURNISHED/ CONTR INST	VAR	VARIES	1			
		OWNER FURNISHED/ OWNER INST	VCT	VINYL COMPOSITION TILE	1			
	OH	OPPOSITE HAND/OVERHEAD	VERT	VERTICAL	1	SYMBOL	FGFND	
	OPNG	OPENING	VEST	VESTIBULE	1			^
ON	PAN	PANTRY	VIF	VERIFY IN FIELD			<i>م</i> مح	${A}$
	PCT	PORCELAIN TILE	VNR		1	XXX	DOOR TAG	REVISION CLOUD AND
	PLAM		VWC		1			CLOUD AND DELTA
	PLBG PLT	PLUMBING PLATE	W W/	WIDTH WITH	1			<u>^</u> Г
	PLI	PLATE	W/ WC	WITH WATER CLOSET	1	(GL-XX)	GLAZING TYPE	
	PNL	PANEL	WC	WOOD				W22 TAG
	PNT	PAINT	WF	WIDE FLANGE	1			
	PNTD	PAINTED	WH	WATER HEATER	1		WALL TYPE	BXXX MILLWORK TAG
		POLISHED	WP	WATERPROOF(ING)/WORK POINT	1			
	POL	I OEIONED	1 1					Л
	POL PR	PAIR	WT	WEIGHT				
	PR PRE-FAB	PAIR PREFABRICATED	WT WWF	WELDED WIRE FABRIC				<ul> <li></li> <li></li> </ul>
	PR	PAIR	WT					<pre></pre>





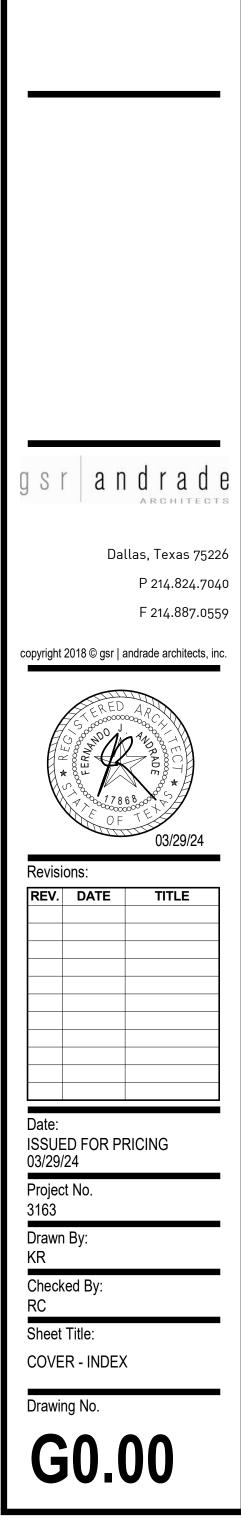
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## ARCHITECT

**STRUCTURAL** JQ ENGINEERING 100 GLASS STREET DALLAS, TX 75207 CONTACT: CHRIS BAKEF PHONE: (214) 752-9098

GSR ANDRADE ARCHITECTS 2001 LAMAR STREET, SUITE 400 DALLAS, TEXAS, 75202 CONTACT: ROBERT CROYSDALE PHONE: (214) 824-7040



GYPSUM / PLASTER

RIGID INSULATION



EXISTING ENTRANCE CONSTRUCTION



EXISTING ENTRANCE CONSTRUCTION



EXISTING ENTRANCE CONSTRUCTION



EXISTING ENTRANCE CONSTRUCTION



EXISTING ENTRANCE CONSTRUCTION



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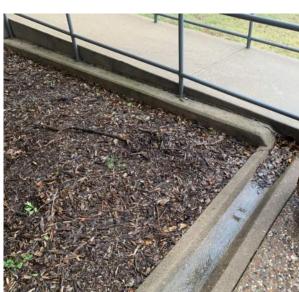
EXISTING ENTRANCE CONSTRUCTION



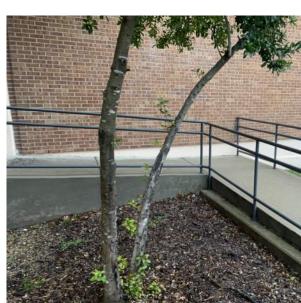
EXISTING ENTRANCE CONSTRUCTION



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EXISTING BRIDGE CONSTRUCTION



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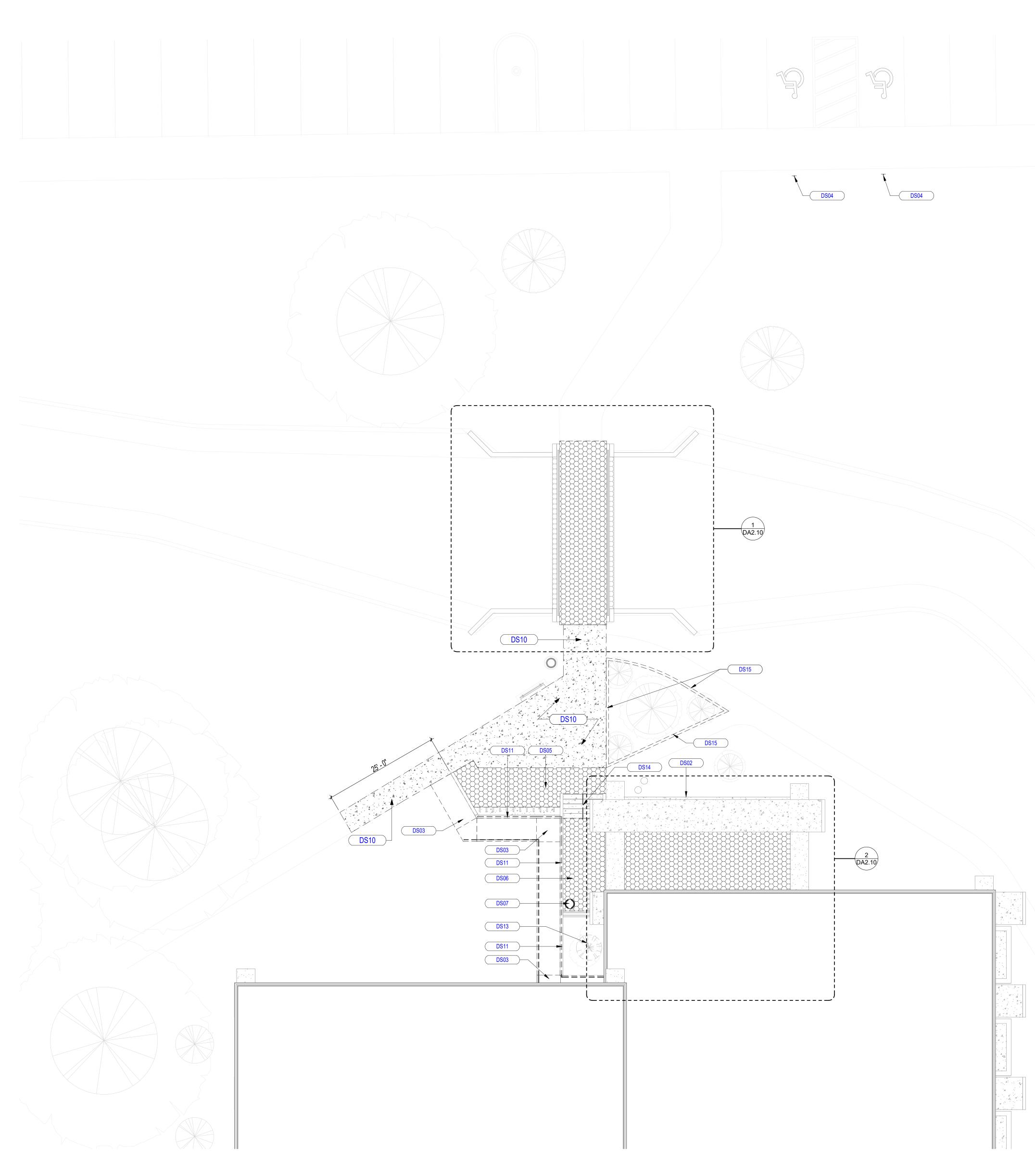












1 ARCHITECTURAL SITE DEMOLITION PLAN

## KEYNOTE I EGEND PER SHEET

VETNOTE LEGEND PER SHEET					
NUMBER	DESCRIPTION				
DS02	REMOVE EXISTING LANDSCAPE BORROW, AND LANDSCAPE FABRIC AT STONE GARDEN UNDER FOUNDATION OVERHANG ALONG NORTH SIDE OF REC CENTER ENTRANCE PAVILION.				
DS03	REMOVE EXISTING CONCRETE RAMP AND STEEL RAILING				
DS04	REMOVE EXISTING HANDICAP SIGN, STEEL POST, AND CONCRETE SUPPORT.				
DS05	DEMO AND REMOVE EXISTING CONCRETE PEBBLE TOPPING PAVING. REMOVE EXISTING CONCRETE TOPPING SLAB TO SUPPORTING GRADE BELOW, AND PREPARE SUPPORTING SUBSTRATE FOR NEW CONCRETE PAVING SLAB AND FINISH.				
DS06	DEMO AND REMOVE EXISTING CONCRETE PEBBLE TOPPING SLAB. REMOVE EXISTING CONCRETE TOPPING SLAB TO SUPPORTING SUBSTRATE BELOW, AND PREPARE SUPPORTING SUBSTRATE FOR NEW CONCRETE TOPPING SLAB FINISH.				
DS07	REMOVE AND SALVAGE EXISTING POST MOUNTED TRASH RECEPTACLE. TRASH RECEPTACLE EMBEDDED INTO EXISTING CONCRETE PEBBLE TOPPING SLAB TO BE DEMOLISHED.				
DS10	DEMO AND REMOVE EXISTING CONCRETE SIDEWALK PAVING. REMOVE EXISTING CONCRETE PAVING TO SUPPORTING GRADE BELOW, AND PREPARE SUPPORTING SUBSTRATE FOR NEW CONCRETE PAVEMENT AND FINISH.				
DS11	REMOVE EXISTING METAL HANDRAIL MOUNTED TO TOP OF CONCRETE RETAINING WALL. PATCH AND REPAIR EXISTING ANCHORING HOLES IN EXISTING CONCRETE RETAINING WALL.				
DS13	REMOVE EXISTING TREE AND ROOT SYSTEM FROM INTERMEDIATE LANDING PLANTER. BACKFILL ANY HOLE LEFT FROM TREE REMOVAL, AND APPLY NEW MULCH TO MATCH EXISTING OVER DISTURBED GROUND FROM TREE REMOVAL.				
DS14	REMOVE EXISTING METAL HANDRAIL MOUNTED TO EXISTING CONCRETE STAIR CONSTRUCTION. PATCH AND REPAIR EXISTING ANCHORING HOLES IN EXISTING CONCRETE RETAINING WALL.				
DS15	REMOVE EXISTING DRY STACKED LANDSCAPE CONCRETE BLOCK PLANTER BED RETAINING WALL. PROTECT TO THE GREATEST EXTENT POSSIBLE EXISTING TREES DURING EXISTING CONCRETE BLOCK WALL REMOVAL AND EXCAVATING EXISTING GRADE FOR NEW PLANTER BED WALL.				

## MINOR DEMOLITION NOTES (REMODELING)

## 01 - SEQUENCING SEQUENCE ACTIVITIES

- 02 SCHEDULING SCHEDULE WORK TO COINCIDE WITH [NEW CONSTRUCTION.]
- PERFORM [NOISY] [MALODOROUS] [DUSTY] OR WORK: BETWEEN HOURS OF [ ] AND [ ].

## 03 - PROJECT CONDITIONS

- CONDUCT DEMOLITION TO MINIMIZE INTERFERENCE WITH ADJACENT [AND OCCUPIED] BUILDING AREAS.
- CEASE OPERATIONS IMMEDIATELY WHEN STRUCTURE APPEARS TO BE IN DANGER AND NOTIFY ARCHITECT/ ENGINEER. DO NOT RESUME OPERATIONS UNTIL DIRECTED.

## 04 - PREPARATION

- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND COORDINATE ALL DEMOLITION WORK WITH EXISTING CONSTRUCTION PRIOR TO EXECUTION OF DEMOLITION. CONFORM TO APPLICABLE BUILDING CODE FOR DEMOLITION WORK, DUST CONTROL, PRODUCTS
- REQUIRING ELECTRICAL DISCONNECTION AND RE-CONNECTION. CONFORM TO APPLICABLE BUILDING CODE FOR PROCEDURES WHEN HAZARDOUS OR
- CONTAMINATED MATERIALS ARE DISCOVERED. ERECT, AND MAINTAIN TEMPORARY SAFEGUARDS, [INCLUDING WARNING SIGNS AND LIGHTS,] [BARRICADES,] [AND SIMILAR MEASURES,] FOR PROTECTION OF THE PUBLIC, OWNER, CONTRACTOR'S
- EMPLOYEES, AND EXISTING IMPROVEMENTS TO REMAIN. ERECT AND MAINTAIN WEATHERPROOF CLOSURES FOR EXTERIOR OPENINGS.
- ERECT AND MAINTAIN TEMPORARY PARTITIONS TO PREVENT SPREAD OF DUST, ODORS, AND NOISE TO PERMIT CONTINUED OWNER OCCUPANCY.
- PROTECT EXISTING MATERIALS AND EXISTING [CONDITIONS] [IMPROVEMENTS] NOT INDICATED TO BI DEMOLISHED.
- PREVENT MOVEMENT OF STRUCTURE; PROVIDE TEMPORARY BRACING AND SHORING REQUIRED T ENSURE SAFETY OF EXISTING STRUCTURE.
- NOTIFY AFFECTED UTILITY COMPANIES BEFORE STARTING WORK AND COMPLY WITH THEIR REQUIREMENTS.
- MARK LOCATION AND TERMINATION OF UTILITIES. COORDINATE WITH OWNER, DEMOLITION OF EXISTING UTILITIES THAT WILL AFFECT OWNER'S
- OPERATIONS ON SITE. PROVIDE APPROPRIATE TEMPORARY SIGNAGE INCLUDING SIGNAGE FOR EXIT OR BUILDING EGRESS.
- DEMOLITION REQUIREMENTS
- DO NOT DISABLE OR DISRUPT BUILDING FIRE OR LIFE SAFETY SYSTEMS WITHOUT 3 DAYS PRIOR WRITTEN NOTICE TO OWNER.
- DEMOLISH IN ORDERLY AND CAREFUL MANNER. PROTECT EXISTING CONSTRUCTION, FINISHES, AND EQUIPMENT.
- REPAIR DAMAGE TO ANY EXISTING CONSTRUCTION, FINISHES, AND EQUIPMENT THAT MAY OCCUR AS RESULT OF DEMOLITION.
- CEASE OPERATIONS IMMEDIATELY WHEN ADJACENT STRUCTURES APPEAR TO BE IN DANGER. NOTIFY ARCHITECT/ENGINEER. DO NOT RESUME OPERATIONS UNTIL DIRECTED.
- CONDUCT OPERATIONS WITH MINIMUM INTERFERENCE TO PUBLIC OR PRIVATE ACCESSES. MAINTAIN
- PROTECTED EGRESS AND ACCESS FROM WITHIN EXISTING BUILDING AT ALL TIMES. CONDUCT DEMOLITION TO MINIMIZE INTERFERENCE WITH ADJACENT OCCUPANCIES [OR] CONDUCT
- DEMOLITION TO MINIMIZE INTERFERENCE WITH ADJACENT [AND OCCUPIED] BUILDING AREAS. OPENINGS WHICH ARE NOT COMPLETED AT THE END OF EACH DAY WILL NEED TO BE SECURED FOR THE EVENING AND/OR WEEKENDS AS REQUIRED BY MANAGEMENT AND THEIR SECURITY COMPONENT.

## **5 - DEMOLITION**

- DISCONNECT [REMOVE] [CAP] AND IDENTIFY DESIGNATED UTILITIES WITHIN DEMOLITION AREAS. REMOVE MATERIALS TO BE RE-INSTALLED OR RETAINED IN MANNER TO PREVENT DAMAGE. STORE AND PROTECT IN ACCORDANCE WITH REQUIREMENTS OF OWNER.
- DEMOLISH IN ORDERLY AND CAREFUL MANNER. PROTECT EXISTING IMPROVEMENTS, ISUPPORTING STRUCTURAL MEMBERS] [AND] ...
- REMOVE DEMOLISHED MATERIALS FROM SITE EXCEPT WHERE SPECIFICALLY NOTED OTHERWISE. DO NOT BURN OR BURY MATERIALS ON SITE.
- REMOVE MATERIALS AS WORK PROGRESSES. UPON COMPLETION OF WORK, LEAVE AREAS IN CLEAN CONDITION.
- CONTRACTOR SHALL PREPARE ALL EXISTING SUBSTRATES TO RECEIVE NEW FINISHES. AS INDICATED IN THE CONSTRUCTION DOCUMENTS. WHERE DEMOLITION OF PORTIONS OF EXISTING MONUMENTAL SURFACES, OR FINISHES IS CALLED
- FOR, CONTRACTOR SHALL ESTABLISH BEGINNING POINT OF SUCH REMOVAL AT NEAREST LOGICAL CONSTRUCTION JOINT, MATERIAL CHANGE OR CORNER.
- WHERE SUPPLEMENTAL ITEMS, SUCH AS MECH/EQUIPMENT PADS, WALL ANCHORS, HANGING APPARATUS, ETC. ARE NOT SPECIFICALLY CALLED OUT TO BE REMOVED, CONTRACTOR SHALL BE RESPONSIBLE FOR THEIR REMOVAL.
- REFER TO FLOOR PLANS FOR DIMENSIONAL EXTENTS OF FINISH/ ITEM/ MATERIAL REMOVAL OR PARTIAL REMOVAL.
- REMOVE EXISTING SUSPENDED ACOUSTICAL CEILING ASSEMBLY IN ITS ENTIRETY TO BOTTOM OF STRUCTURE THROUGHOUT THE ENTIRE BUILDING. [IN AREAS/ ROOMS AS INDICATED IN THE CONSTRUCTION DOCUMENTS.]
- WHERE EXISTING UTILITIES ARE TO BE REMOVED, CAP BELOW FLOOR LEVEL; WITHIN WALLS; OR ABOVE CEILINGS. COORDINATE WITH MEP DOCUMENTS.
- REMOVE ALL EXISTING HVAC EQUIPMENT, INCLUDING BUT NOT LIMITED TO DUCTWORK, DIFFUSERS, DAMPERS, GRILLES, AND HANGARS THROUGHOUT THE ENTIRE BUILDING. [IN AREAS/ ROOMS AS
- INDICATED IN THE CONSTRUCTION DOCUMENTS.] REMOVE ALL EXISTING LIGHT FIXTURES, INCLUDING BUT NOT LIMITED TO FIXTURES, CONDUIT, WIRING, J-BOXES, AND CONTROLS THROUGHOUT THE ENTIRE BUILDING. [ IN AREAS/ ROOMS AS INDICATED IN THE CONSTRUCTION DOCUMENTS.]
- REMOVE ALL INTERIOR PARTITIONS INCLUDING, BUT NOT LIMITED TO GYPSUM BOARD, METAL STUDS BASE, SIGNAGE, CONDUIT, WIRING, OUTLETS, AND CONTROLS, THROUGHOUT THE ENTIRE BUILDING.
- [IN AREAS/ ROOMS AS INDICATED IN THE CONSTRUCTION DOCUMENTS.] REMOVE ALL EXISTING PLUMBING FIXTURES AND [SAVE FOR REUSE] [SAVE FOR OWNER'S USE] DISPOSE OF.
- REFER TO MEP DOCUMENTS FOR ADDITIONAL DEMOLITION REQUIREMENTS.

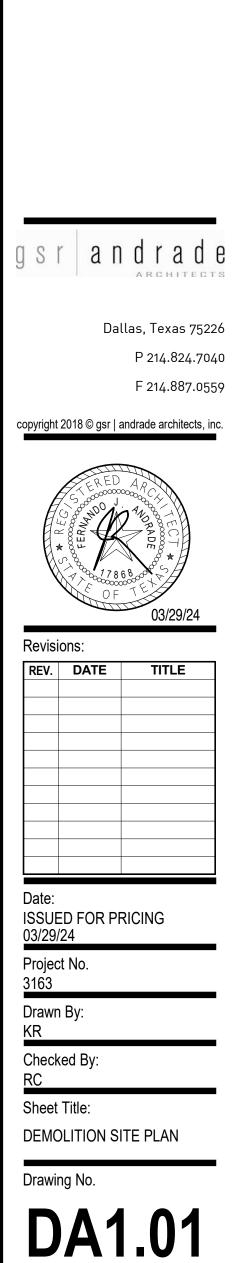
## 3 - SALVAGE REQUIREMENTS

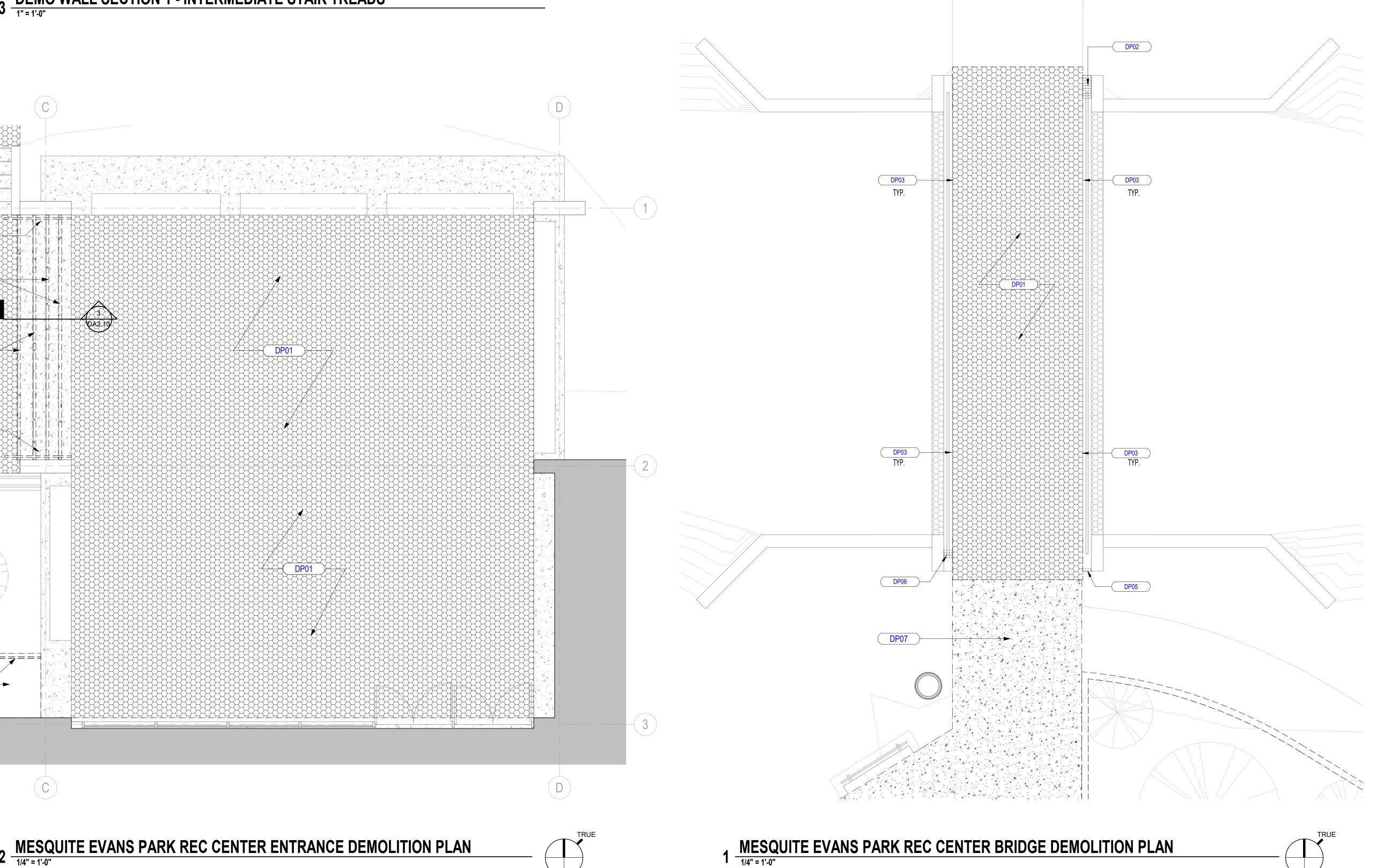
- COORDINATE WITH OWNER TO IDENTIFY BUILDING COMPONENTS AND EQUIPMENT REQUIRED TO BE REMOVED AND DELIVERED TO OWNER. TAG COMPONENTS AND EQUIPMENT OWNER DESIGNATES FOR SALVAGE.
- PROTECT DESIGNATED SALVAGE ITEMS FROM DEMOLITION OPERATIONS UNTIL ITEMS CAN BE REMOVED.
- CAREFULLY, REMOVE BUILDING COMPONENTS AND EQUIPMENT INDICATED TO BE SALVAGED. REMOVE, STORE AND PROTECT THE FOLLOWING MATERIALS AND EQUIPMENT:
- REMOVE THE FOLLOWING EQUIPMENT [AND MATERIALS] FOR OWNER'S RETENTION. DELIVER TO [LOCATION DESIGNATED BY ARCHITECT/ ENGINEER] OWNER WILL REMOVE THE FOLLOWING MATERIAL AND EQUIPMENT BEFORE START OF DEMOLITION
- PROTECT THE FOLLOWING MATERIALS AND EQUIPMENT REMAINING:
- DISASSEMBLE AS REQUIRED TO PERMIT REMOVAL FROM BUILDING. PACKAGE SMALL AND LOOSE PARTS TO AVOID LOSS.
- MARK EQUIPMENT AND PACKAGED PARTS TO PERMIT IDENTIFICATION AND CONSOLIDATION OF
- COMPONENTS OF EACH SALVAGED ITEM. PREPARE ASSEMBLY INSTRUCTIONS CONSISTENT WITH DISASSEMBLED PARTS. PACKAGE ASSEMBLY INSTRUCTIONS IN PROTECTIVE ENVELOPE AND SECURELY ATTACH TO EACH DISASSEMBLED SALVAGED ITEM.
- 3 DELIVER SALVAGED ITEMS TO OWNER. OBTAIN SIGNED RECEIPT FROM OWNER.

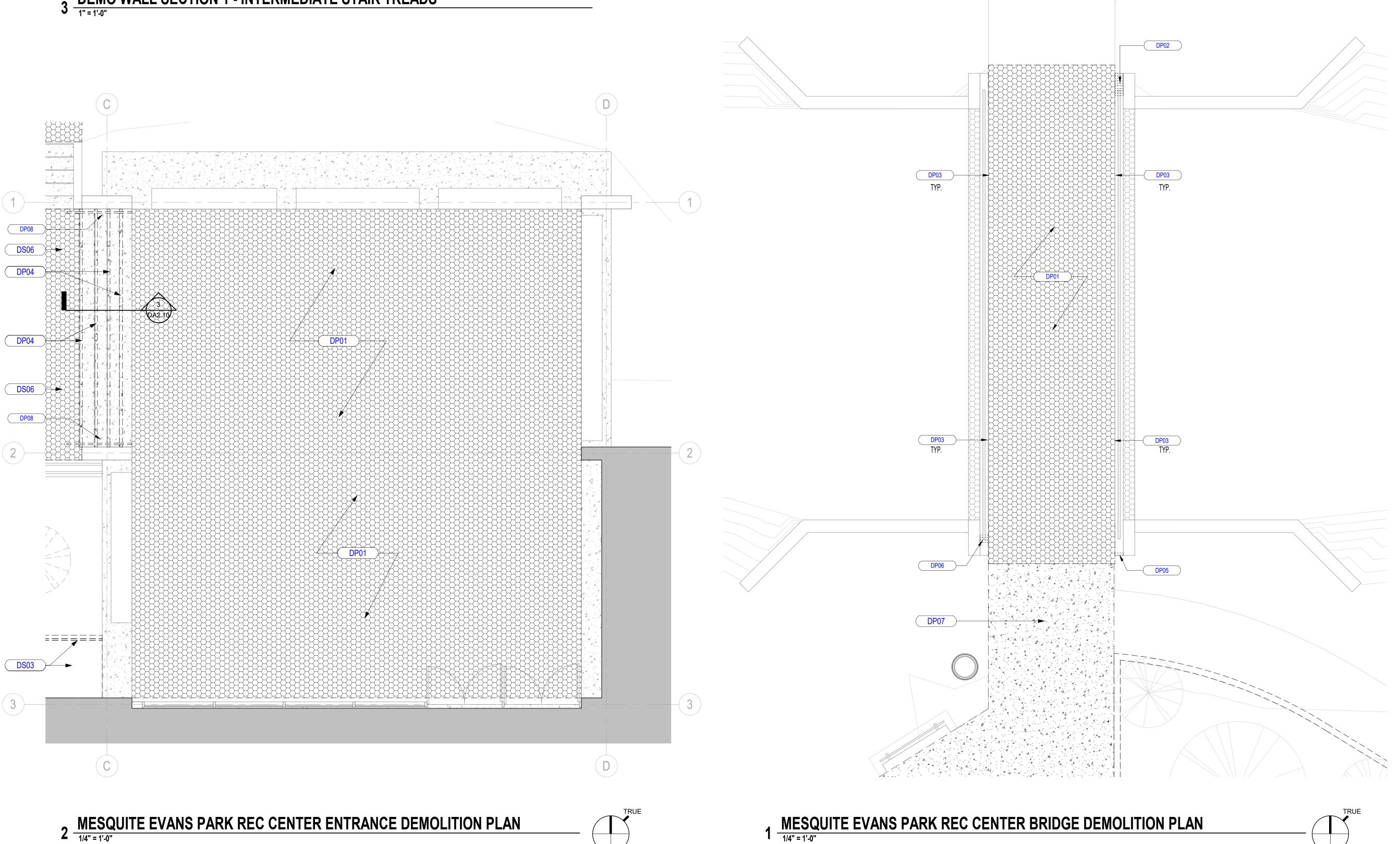
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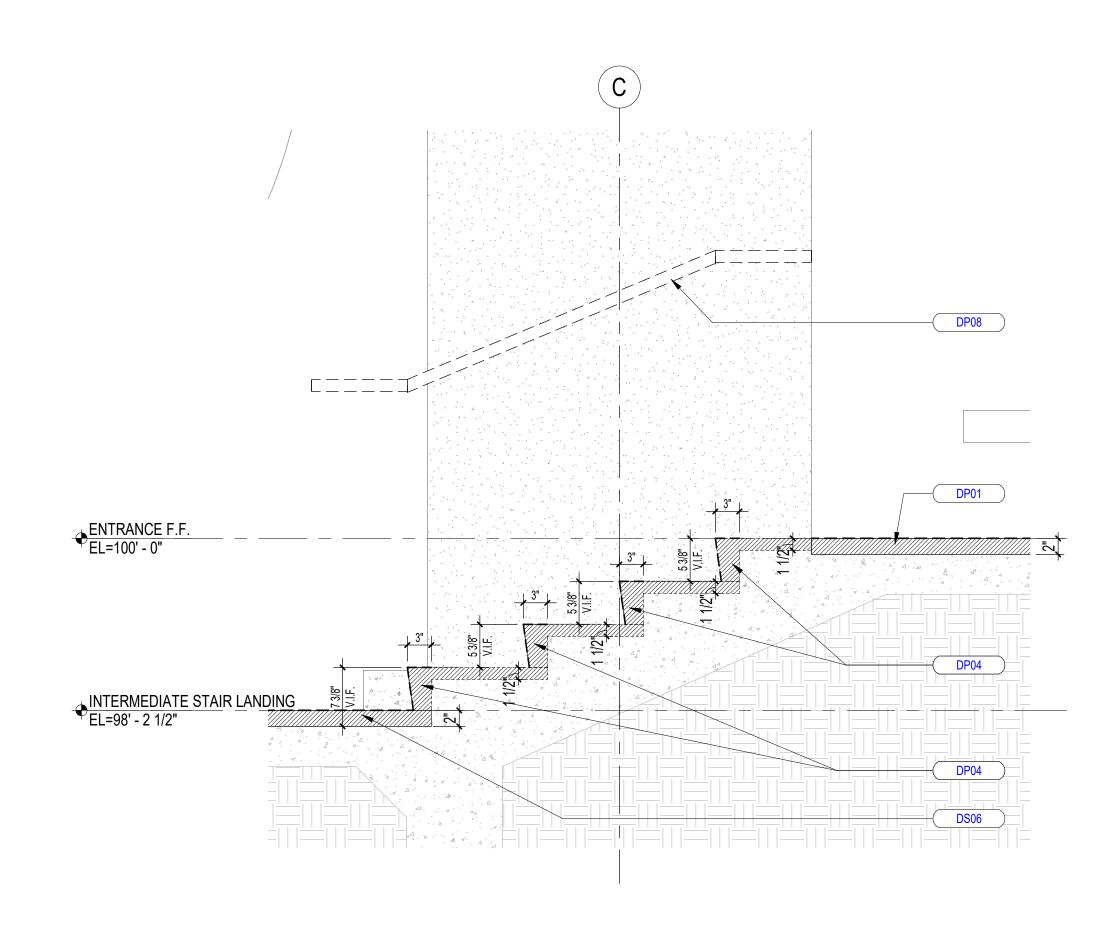
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## , DEMO WALL SECTION 1 - INTERMEDIATE STAIR TREADS





	DECODIDITION
NUMBER	DESCRIPTION
DP01	DEMO AND REMOVE EXISTING CONCRETE PEBBLE TOPPING SLAB. REMOVE EXISTING CONCRETE TOPPING SLAB TO SUPPORTING SUBSTRATE BELOW, AND PREPARE SUPPORTING SUBSTRATE FOR NEW CONCRETE TOPPING SLAB FINISH.
DP02	REMOVE AND SALVAGE FOR REUSE EXISTING BRICK. REMOVE FIRST TEN (10) EXISTING HEADER COURSE BRICKS FROM TOP OF EXISTING BRICK WALL. CLEAN ALL SALVAGED BRICKS FROM ALL LOOSE MORTAR FOR REUSE INTO REPAIR OF EXISTING BRICK WALL.
DP03	PROTECT AND KEEP CLEAR EXISTING WEEP HOLES LOCATED IN CONCRETE ACCENT WALL.
DP04	DEMO CHIPPED STAIR NOSINGS AND TREADS OF EACH CONCRETE STAIR TREAD. PREPARE REMAINING CONCRETE TREAD FOR NEW STAIR NOSING. REFER TO DEMOLITION SECTION.
DP05	REMOVE EXISTING BROKEN BRICK AT EXISTING SOLDIER COURSE BRICK MASONRY CONSTRUCTION FROM TOP OF EXISTING BRIDGE BRICK WALL. REMOVE AND CLEAN EMPTY BRICK COURSE OF ANY LOOSE AND/OR DAMAGED BRICK MORTAR FOR NEW BRICK INSTALLATION.
DP06	TEMPORARY REMOVE AND SALVAGE FOR REINSTALLATION EXISTING STEEL TUBE RAILING ANCHORS FROM BRICK WALL OF BRIDGE. REMOVE AND SALVAGE THREE EXISTING BRICK SOLDIER COURSES FROM EXISTING MASONRY CONSTRUCTION. REMOVE AND CLEAN EMPTY BRICK COURSE OF ANY LOOSE AND/OR DAMAGED BRICK MORTAR FOR NEW BRICK INSTALLATION. REPLACE EXISTING BROKEN BRICK TO MATCH EXISTING, AND SLAVAGE AND CLEAN OTHER TWO COURSES FOR RE-MORTARING NEW AND SALVAGED BRICK TO MATCH EXISTING BACK INTO SOLDIER COURSE OF BRICK MASONRY CONSTRUCTION.
DP07	DEMO AND REMOVE EXISTING CONCRETE SIDEWALK PAVING. REMOVE EXISTING CONCRETE PAVING TO SUPPORTING GRADE BELOW, AND PREPARE SUPPORTING SUBSTRATE FOR NEW CONCRETE PAVEMENT AND FINISH.
DP08	REMOVE EXISTING METAL HANDRAIL MOUNTED TO SIDE OF STUCCO/CONCRETE COLUMN OF REC CENTER ENTRANCE PAVILION. PATCH AND REPAIR EXISTING ANCHORING HOLES, AND EXISTING STUCCO FINISH DAMAGED BY METAL HANDRAIL REMOVAL AND NEW HANDRAIL INSTALLATION.
DS03	REMOVE EXISTING CONCRETE RAMP AND STEEL RAILING
DS06	DEMO AND REMOVE EXISTING CONCRETE PEBBLE TOPPING SLAB. REMOVE EXISTING CONCRETE TOPPING SLAB TO SUPPORTING SUBSTRATE BELOW, AND PREPARE SUPPORTING SUBSTRATE FOR NEW CONCRETE TOPPING SLAB FINISH.

## MINOR DEMOLITION NOTES (REMODELING)

## 1 - SEQUENCING

SEQUENCE ACTIVITIES

## 2 - SCHEDULING

SCHEDULE WORK TO COINCIDE WITH [NEW CONSTRUCTION.] PERFORM [NOISY] [MALODOROUS] [DUSTY] OR WORK: BETWEEN HOURS OF [ ] AND [ ].

## **3 - PROJECT CONDITIONS**

- CONDUCT DEMOLITION TO MINIMIZE INTERFERENCE WITH ADJACENT [AND OCCUPIED] BUILDING AREAS.
- CEASE OPERATIONS IMMEDIATELY WHEN STRUCTURE APPEARS TO BE IN DANGER AND NOTIFY ARCHITECT/ ENGINEER. DO NOT RESUME OPERATIONS UNTIL DIRECTED.

## - PREPARATION

- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND COORDINATE ALL DEMOLITION WORK WITH EXISTING CONSTRUCTION PRIOR TO EXECUTION OF DEMOLITION.
- CONFORM TO APPLICABLE BUILDING CODE FOR DEMOLITION WORK, DUST CONTROL, PRODUCTS
- REQUIRING ELECTRICAL DISCONNECTION AND RE-CONNECTION. CONFORM TO APPLICABLE BUILDING CODE FOR PROCEDURES WHEN HAZARDOUS OR
- CONTAMINATED MATERIALS ARE DISCOVERED. ERECT, AND MAINTAIN TEMPORARY SAFEGUARDS, [INCLUDING WARNING SIGNS AND LIGHTS,]
- [BARRICADES,] [AND SIMILAR MEASURES,] FOR PROTECTION OF THE PUBLIC, OWNER, CONTRACTOR'S EMPLOYEES, AND EXISTING IMPROVEMENTS TO REMAIN.
- ERECT AND MAINTAIN WEATHERPROOF CLOSURES FOR EXTERIOR OPENINGS. ERECT AND MAINTAIN TEMPORARY PARTITIONS TO PREVENT SPREAD OF DUST, ODORS, AND NOISE TO PERMIT CONTINUED OWNER OCCUPANCY.
- PROTECT EXISTING MATERIALS AND EXISTING [CONDITIONS] [IMPROVEMENTS] NOT INDICATED TO BE DEMOLISHED.
- PREVENT MOVEMENT OF STRUCTURE; PROVIDE TEMPORARY BRACING AND SHORING REQUIRED T ENSURE SAFETY OF EXISTING STRUCTURE.
- NOTIFY AFFECTED UTILITY COMPANIES BEFORE STARTING WORK AND COMPLY WITH THEIR REQUIREMENTS.
- MARK LOCATION AND TERMINATION OF UTILITIES.
- COORDINATE WITH OWNER, DEMOLITION OF EXISTING UTILITIES THAT WILL AFFECT OWNER'S OPERATIONS ON SITE.
- PROVIDE APPROPRIATE TEMPORARY SIGNAGE INCLUDING SIGNAGE FOR EXIT OR BUILDING EGRESS.

## - DEMOLITION REQUIREMENTS

- DO NOT DISABLE OR DISRUPT BUILDING FIRE OR LIFE SAFETY SYSTEMS WITHOUT 3 DAYS PRIOR WRITTEN NOTICE TO OWNER.
- DEMOLISH IN ORDERLY AND CAREFUL MANNER. PROTECT EXISTING CONSTRUCTION, FINISHES, AND EQUIPMENT.
- REPAIR DAMAGE TO ANY EXISTING CONSTRUCTION, FINISHES, AND EQUIPMENT THAT MAY OCCUR AS RESULT OF DEMOLITION.
- CEASE OPERATIONS IMMEDIATELY WHEN ADJACENT STRUCTURES APPEAR TO BE IN DANGER. NOTIFY ARCHITECT/ENGINEER. DO NOT RESUME OPERATIONS UNTIL DIRECTED.
- CONDUCT OPERATIONS WITH MINIMUM INTERFERENCE TO PUBLIC OR PRIVATE ACCESSES. MAINTAIN PROTECTED EGRESS AND ACCESS FROM WITHIN EXISTING BUILDING AT ALL TIMES.
- CONDUCT DEMOLITION TO MINIMIZE INTERFERENCE WITH ADJACENT OCCUPANCIES [OR] CONDUCT
- DEMOLITION TO MINIMIZE INTERFERENCE WITH ADJACENT [AND OCCUPIED] BUILDING AREAS. OPENINGS WHICH ARE NOT COMPLETED AT THE END OF EACH DAY WILL NEED TO BE SECURED FOR THE EVENING AND/OR WEEKENDS AS REQUIRED BY MANAGEMENT AND THEIR SECURITY COMPONENT.

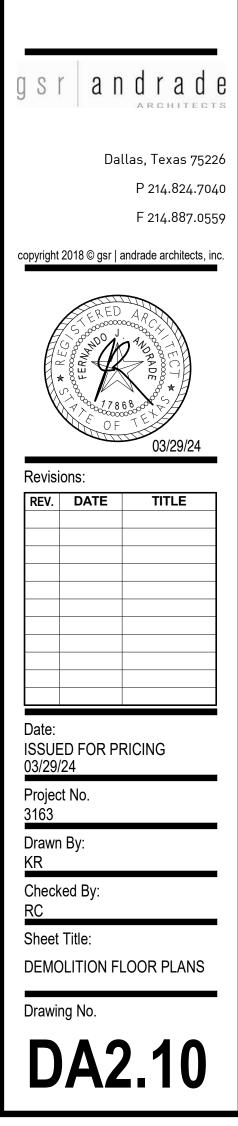
## - DEMOLITION

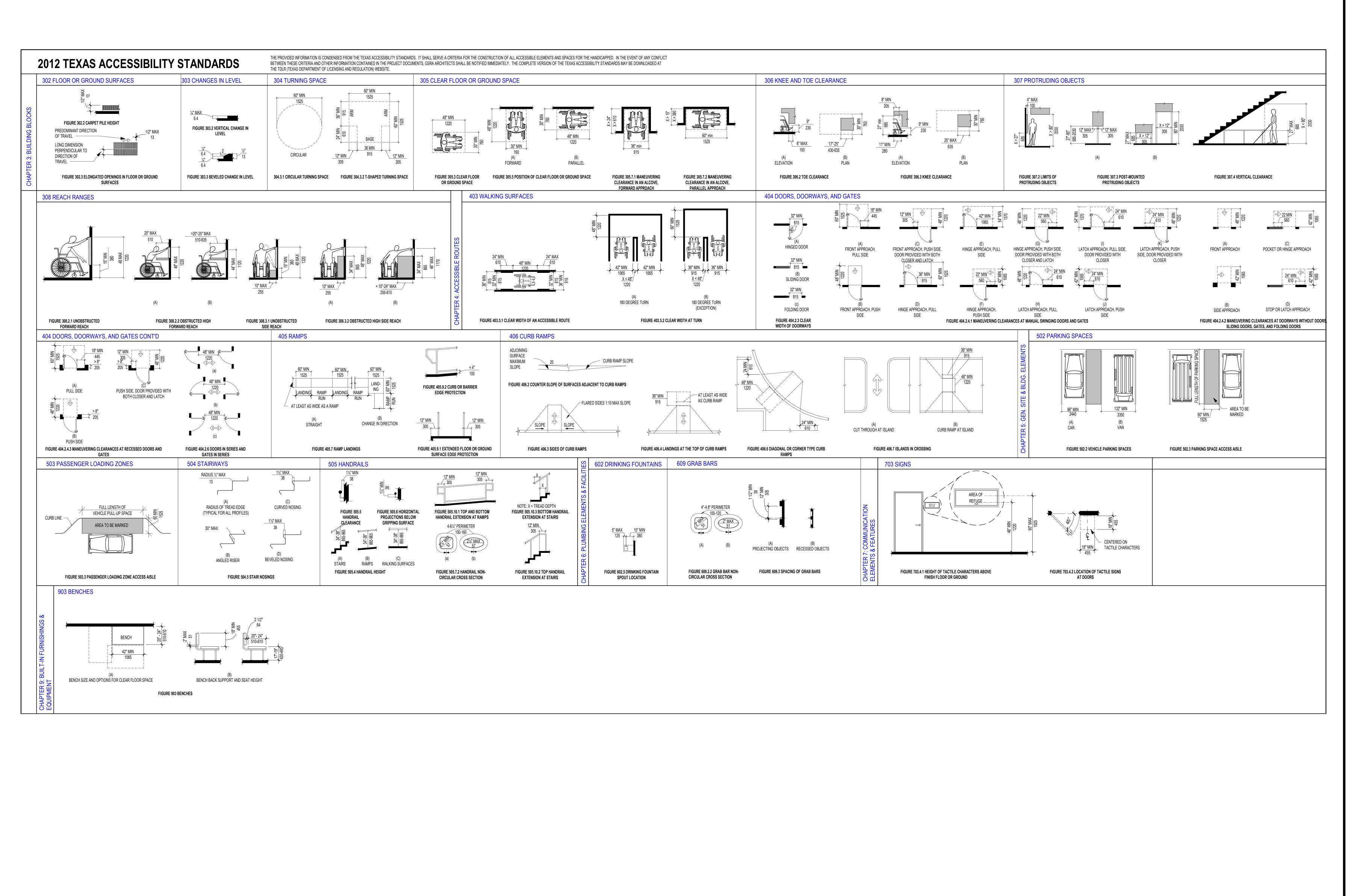
- DISCONNECT [REMOVE] [CAP] AND IDENTIFY DESIGNATED UTILITIES WITHIN DEMOLITION AREAS. REMOVE MATERIALS TO BE RE-INSTALLED OR RETAINED IN MANNER TO PREVENT DAMAGE. STORE AND PROTECT IN ACCORDANCE WITH REQUIREMENTS OF OWNER. DEMOLISH IN ORDERLY AND CAREFUL MANNER. PROTECT EXISTING IMPROVEMENTS, [SUPPORTING
- STRUCTURAL MEMBERS] [AND] ...
- REMOVE DEMOLISHED MATERIALS FROM SITE EXCEPT WHERE SPECIFICALLY NOTED OTHERWISE. DO NOT BURN OR BURY MATERIALS ON SITE. REMOVE MATERIALS AS WORK PROGRESSES. UPON COMPLETION OF WORK, LEAVE AREAS IN CLEAN
- CONDITION. CONTRACTOR SHALL PREPARE ALL EXISTING SUBSTRATES TO RECEIVE NEW FINISHES. AS
- INDICATED IN THE CONSTRUCTION DOCUMENTS. WHERE DEMOLITION OF PORTIONS OF EXISTING MONUMENTAL SURFACES, OR FINISHES IS CALLED FOR, CONTRACTOR SHALL ESTABLISH BEGINNING POINT OF SUCH REMOVAL AT NEAREST LOGICAL
- CONSTRUCTION JOINT, MATERIAL CHANGE OR CORNER. WHERE SUPPLEMENTAL ITEMS, SUCH AS MECH/EQUIPMENT PADS, WALL ANCHORS, HANGING
- APPARATUS, ETC. ARE NOT SPECIFICALLY CALLED OUT TO BE REMOVED, CONTRACTOR SHALL BE RESPONSIBLE FOR THEIR REMOVAL.
- REFER TO FLOOR PLANS FOR DIMENSIONAL EXTENTS OF FINISH/ ITEM/ MATERIAL REMOVAL OR PARTIAL REMOVAL.
- REMOVE EXISTING SUSPENDED ACOUSTICAL CEILING ASSEMBLY IN ITS ENTIRETY TO BOTTOM OF STRUCTURE THROUGHOUT THE ENTIRE BUILDING. [IN AREAS/ ROOMS AS INDICATED IN THE CONSTRUCTION DOCUMENTS.]
- WHERE EXISTING UTILITIES ARE TO BE REMOVED, CAP BELOW FLOOR LEVEL; WITHIN WALLS; OR
- ABOVE CEILINGS. COORDINATE WITH MEP DOCUMENTS. REMOVE ALL EXISTING HVAC EQUIPMENT, INCLUDING BUT NOT LIMITED TO DUCTWORK, DIFFUSERS, DAMPERS, GRILLES, AND HANGARS THROUGHOUT THE ENTIRE BUILDING. [IN AREAS/ ROOMS AS
- INDICATED IN THE CONSTRUCTION DOCUMENTS.] REMOVE ALL EXISTING LIGHT FIXTURES, INCLUDING BUT NOT LIMITED TO FIXTURES, CONDUIT,
- WIRING, J-BOXES, AND CONTROLS THROUGHOUT THE ENTIRE BUILDING. [ IN AREAS/ ROOMS AS INDICATED IN THE CONSTRUCTION DOCUMENTS.] REMOVE ALL INTERIOR PARTITIONS INCLUDING, BUT NOT LIMITED TO GYPSUM BOARD, METAL STUDS,
- BASE, SIGNAGE, CONDUIT, WIRING, OUTLETS, AND CONTROLS, THROUGHOUT THE ENTIRE BUILDING. [IN AREAS/ ROOMS AS INDICATED IN THE CONSTRUCTION DOCUMENTS.]
- REMOVE ALL EXISTING PLUMBING FIXTURES AND [SAVE FOR REUSE] [SAVE FOR OWNER'S USE] DISPOSE OF.
- REFER TO MEP DOCUMENTS FOR ADDITIONAL DEMOLITION REQUIREMENTS.

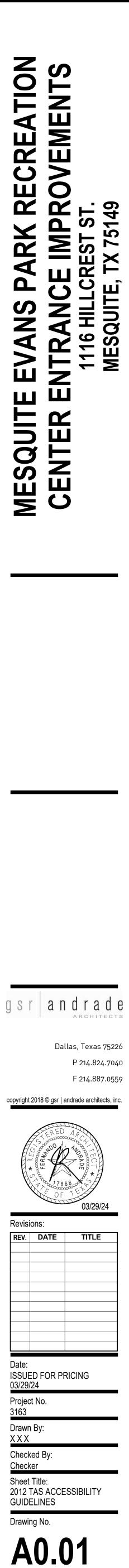
## 08 - SALVAGE REQUIREMENTS

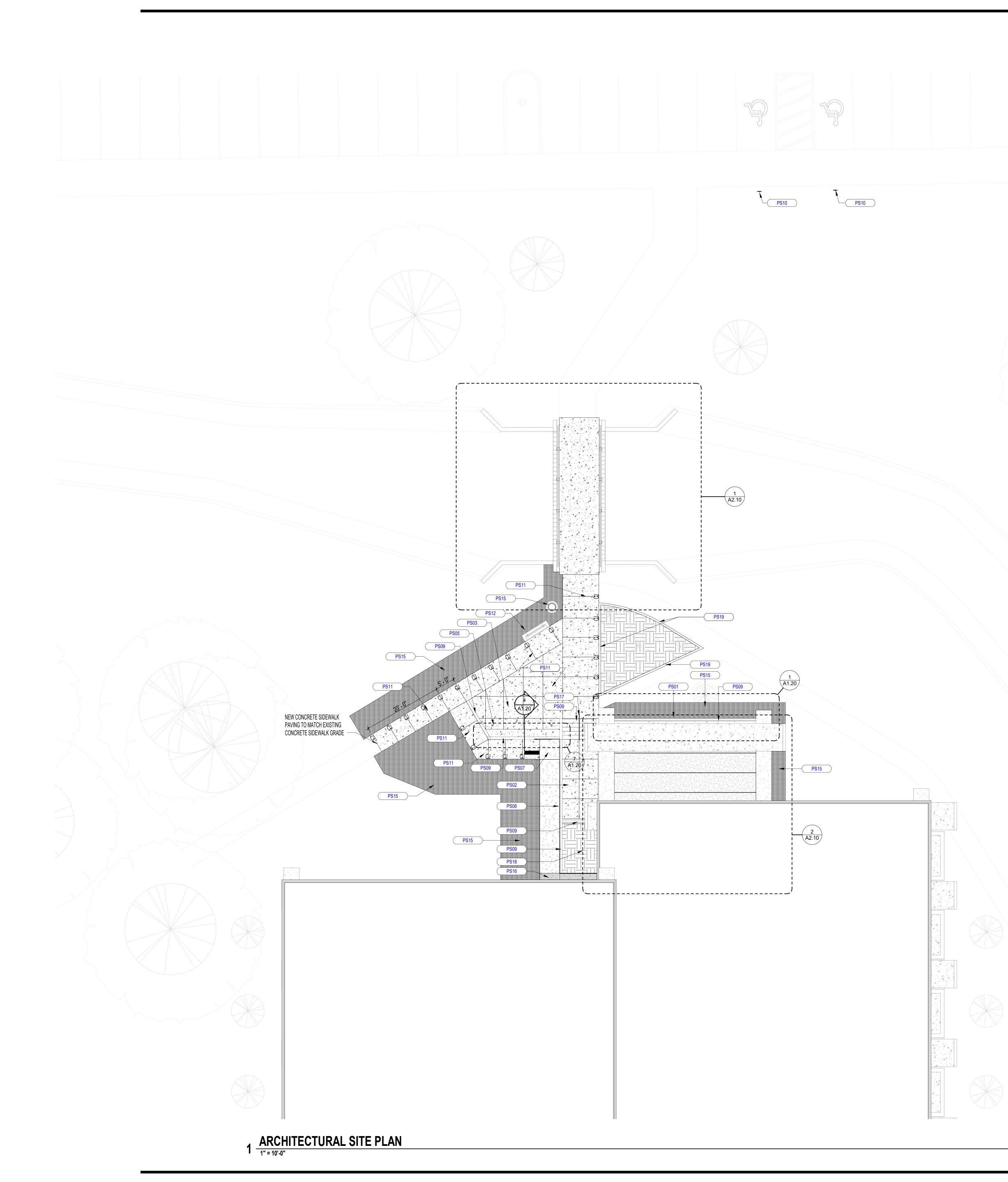
- COORDINATE WITH OWNER TO IDENTIFY BUILDING COMPONENTS AND EQUIPMENT REQUIRED TO BE REMOVED AND DELIVERED TO OWNER.
- TAG COMPONENTS AND EQUIPMENT OWNER DESIGNATES FOR SALVAGE. PROTECT DESIGNATED SALVAGE ITEMS FROM DEMOLITION OPERATIONS UNTIL ITEMS CAN BE
- REMOVED. CAREFULLY, REMOVE BUILDING COMPONENTS AND EQUIPMENT INDICATED TO BE SALVAGED.
- REMOVE, STORE AND PROTECT THE FOLLOWING MATERIALS AND EQUIPMENT:
- REMOVE THE FOLLOWING EQUIPMENT [AND MATERIALS] FOR OWNER'S RETENTION. DELIVER TO [LOCATION DESIGNATED BY ARCHITECT/ ENGINEER]
- OWNER WILL REMOVE THE FOLLOWING MATERIAL AND EQUIPMENT BEFORE START OF DEMOLITION
- PROTECT THE FOLLOWING MATERIALS AND EQUIPMENT REMAINING:
- DISASSEMBLE AS REQUIRED TO PERMIT REMOVAL FROM BUILDING. PACKAGE SMALL AND LOOSE PARTS TO AVOID LOSS.
- MARK EQUIPMENT AND PACKAGED PARTS TO PERMIT IDENTIFICATION AND CONSOLIDATION OF
- COMPONENTS OF EACH SALVAGED ITEM. PREPARE ASSEMBLY INSTRUCTIONS CONSISTENT WITH DISASSEMBLED PARTS. PACKAGE ASSEMBLY INSTRUCTIONS IN PROTECTIVE ENVELOPE AND SECURELY ATTACH TO EACH DISASSEMBLED
- SALVAGED ITEM. DELIVER SALVAGED ITEMS TO OWNER. OBTAIN SIGNED RECEIPT FROM OWNER.











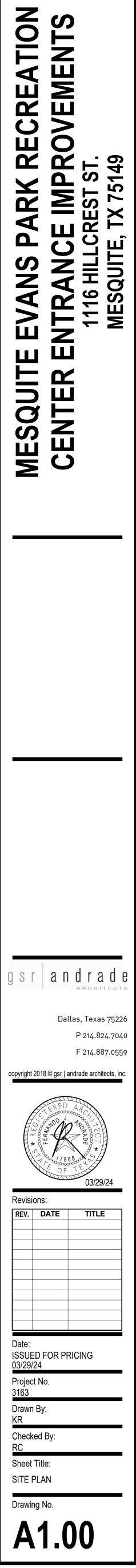
	SITE PL	AN LEGEND	
	√ ( - 2 )   < ( - 2 )	CAST-IN-PLACE CONCRETE	EXISTING SCOPE A
		ADA ACCESSIBLE RAMP	RE-CONTOURING E
		DESCRIPTION:	ZONING & USE:
	COUNTY: [	EXAS DALLAS NESQUITE	ZONED: COM - BUSINESS
	DANIEL TAN	INER ABST 1462 PG 624	GROSS BUILDING AREA: N/A
	TR 19 ACS 2 LOC ON OR CO-DALLAS	IG TOWN MESQUITE SH 12F	SPECIAL AREA AND DESIGN ST
		900 33814626241	Building Height: Maximum: N/A
	LO	T AREA 25.09 ACRES	PROVIDED: N/A
			SETBACKS: FRONT: N/A SIDE: N/A REAR: N/A
	PARKIN	G SPACES:	
	TOTAL	PARKING SPACES REQUIRED:	
		IRED: 1 SPACE PER 250 S.F. OF OFFI 25,000 S.F. (GROSS)/250 = 100 SF 100 SPACES + 6 ACCESSBILE SF	PACES
	PROV	IDED: 174 SPACES + 10 ACCESSIBLE	
	ACCES	SIBLE PARKING SPACES:	
	REQU	IRED: 6 SPACES TOTAL	
	PROV	IDED: 10 SPACES TOTAL (6 VAN,4 RE	GULAR)
	·		
		E LEGEND PER SHEET	DEOODIDTION
	NUMBE		DESCRIPTION
	PS01 PS02	2" CONCRETE TOPPING SLAB	PLANTER CURB. REFER DRAWING ( NITH BROOM FINISH. FINISH GRADI
	PS03		ITH BROOM FINISH. CONCRETE PA
	PS05	ANCHORED INTO EXISTING CO	ACK WITH BLACK HIGH PERFORMAN NCRETE BIKE RACK. REFERENCE (
	PS06	STEEL PIPE RAILING PAINTED	A ACCESSIBLE RAMP WITH BROOM BLACK AND EMBEDDED INTO SIDE ON ON 02/A1.10 FOR APPROPRIATE
	PS07 PS09	CAST-IN-PLACE CONCRETE PA	VEMENT RAMP LANDING WITH BRO ONCRETE RETAINING WALLS; CON
	1 203		EXPOSED/UNPAINTED CONCRETE E
	PS10		STALL SIGNS, AND CONCRETE FOU
	PS11	REGULATIONS. CONCRETE PA TO DRAINAGE SWELL. REMOVI SUB-GRADEPER STRUCTURAL BLEND INTO EXISTING CONCR	TE SIDEWALK PAVING SLOPED UND VING IS TO SURFACE DRAIN FOLLO E ADDITIONAL GRADE AS NEEDED F ENGINEER'S RECOMMENDATIONS. ETE SIDEWALK PAVING TO REMAIN L JOINTS AT 10' MAX O.C. SPACING
	PS12	PROTECT EXISTING WOOD SEA	AT & BENCH, AND TRASH RECEPTA AT EXISTING JOINT BETWEEN BEN
	PS15	CONTOUR EXISTING GRADE TO GRADE TO NEW SITE GRADING TO PROVIDE PROPOER DRAIN	D PROVIDE 1" DROP FROM NEW CO B. AT ADA ACCESSIBLE RAMP, CON AGE AROUND ADA RAMP AND NEW D AROUND SCOPE-OF-WORK TO RE
	PS16	CONCRETE TOPPING SLAB AD LANDING WITH BROOM FINISH EMBEDDED INTO SIDE OF CON EXISTING REC CENTER BUILDI MOUNTING DETAIL. APPLY CO	DED ON TOP OF EXISTING ADA ACC AND 1-1/2" STEEL PIPE RAILING PA CRETE RAMP STRUCTURE AND WA NG. REFER TO SECTION ON 02/A1.1 NCRETE TOPPING FINISH OVER ALL
	PS17	ADA-COMPLIANT 1-1/2" DIA. ST EXTENSION TO MATCH REMOV CONCRETE EXTERIOR STAIR (	ACCESSIBLE RAMP TO REMAIN. EEL TUBE HANDRAIL, BALUSTRADE (ED STEEL HANDRAIL ANCHORED IN CONSTRUCTION OF EXISTING REC ( AIL AND ALL COMPONENTS TO BE P G.
	PS18	BACKFILL ANY HOLES AND/OR	5. SOIL DEPRESSIONS LEFT FROM TH REE REMOVAL, AND APPLY NEW MU

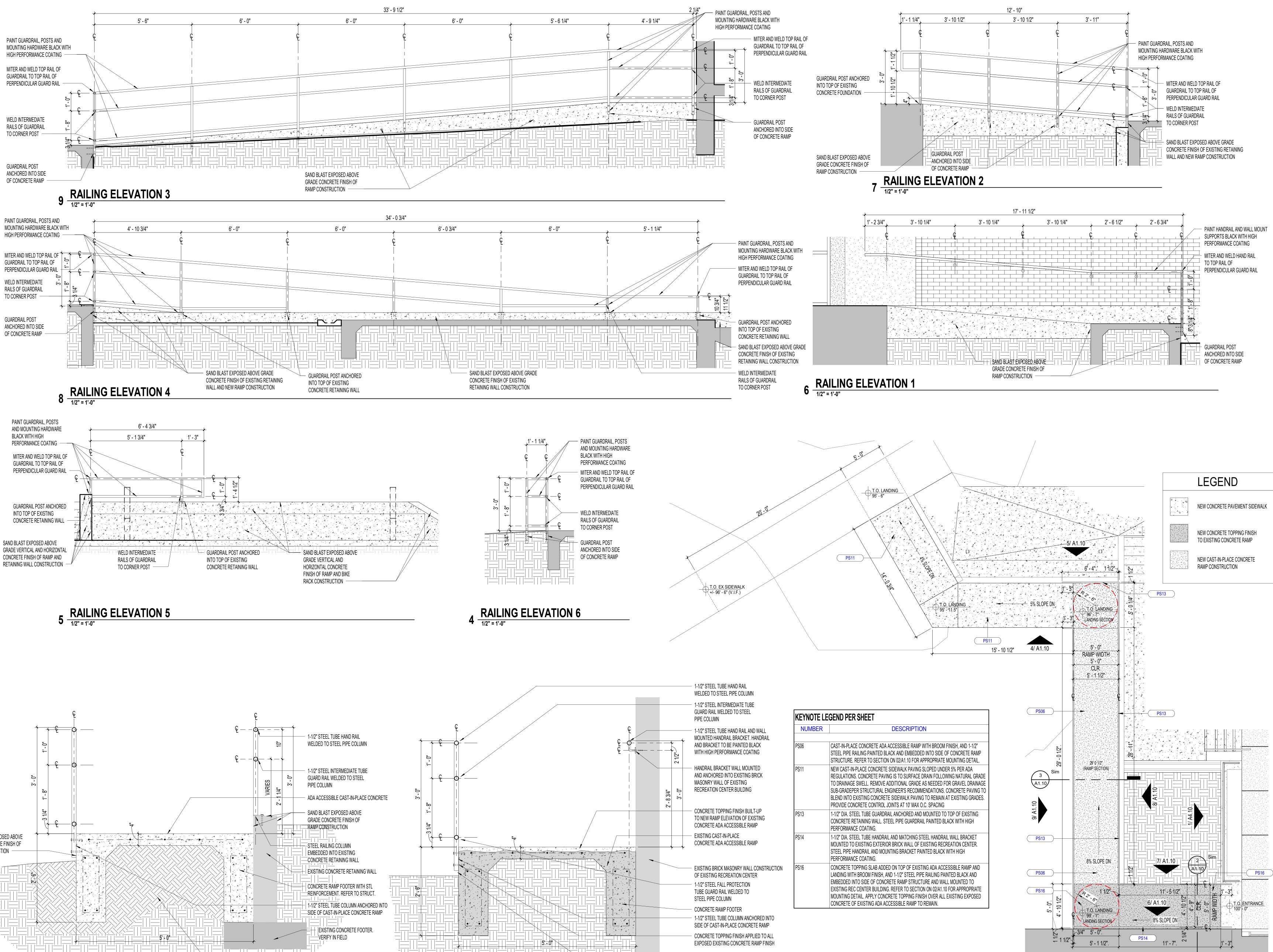
6" CAST-IN-PLACE CONCRETE PLANTER CURB. REFER DRAWING 0 THE GREATEST EXTENT POSSIBLE EXISTING TREES DURING EXIS BLOCK WALL REMOVAL AND EXCAVATING EXISTING GRADE FOR N WALL.

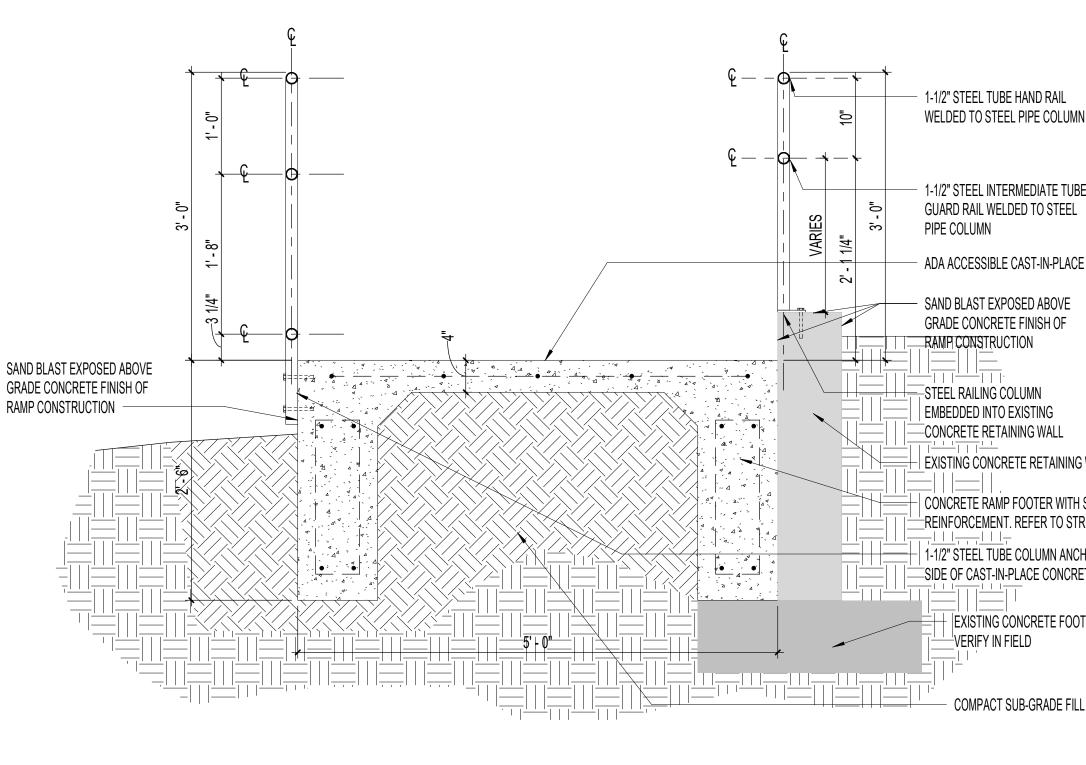
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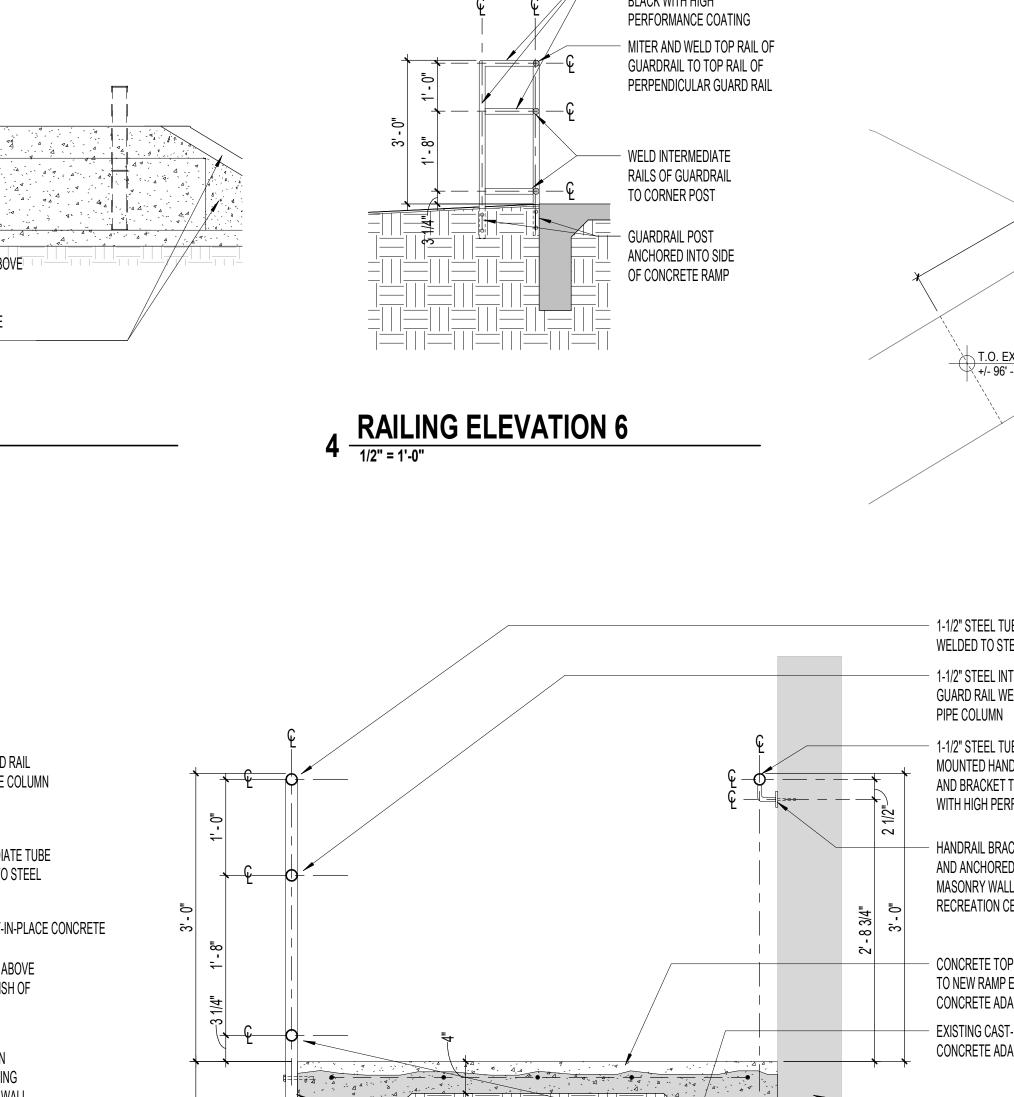
TRUE

EXISTING SCOPE AREA TO REMAIN
RE-CONTOURING EXISTING GRADE & HYDRO-MULCHING NEW GRADE
EXISTING MULCH LANDSCAPE BED
IG & USE:
COM - BUSINESS
E: MUNICIPAL RECREATION CENTER
UILDING AREA: N/A
AREA AND DESIGN STANDARDS
Maximum: N/A Provided: N/A
KS: DNT: N/A E: N/A
NR: N/A
ES
RIPTION
IRB. REFER DRAWING 01/A1.10. 1 FINISH. FINISH GRADE OF NEW CONCRETE
FINISH. CONCRETE PAVEMENT TO MATCH
ACK HIGH PERFORMANCE COATING E RACK. REFERENCE 08/A1.20 LE RAMP WITH BROOM FINISH, AND 1-1/2"
EMBEDDED INTO SIDE OF CONCRETE RAMP .10 FOR APPROPRIATE MOUNTING DETAIL. MP LANDING WITH BROOM FINISH.
ETAINING WALLS; CONCRETE STAIRS TREADS, IPAINTED CONCRETE BELOW FINISH FLOOR
6, AND CONCRETE FOUNDATION EMBED.
K PAVING SLOPED UNDER 5% PER ADA SURFACE DRAIN FOLLOWING NATURAL GRADE
L GRADE AS NEEDED FOR GRAVEL DRAINAGE RECOMMENDATIONS. CONCRETE PAVING TO LK PAVING TO REMAIN AT EXISTING GRADES.
10' MAX O.C. SPACING AND TRASH RECEPTACLE. CONCRETE BASE
G JOINT BETWEEN BENCH FOUNDATION AND
CESSIBLE RAMP, CONTOUR EXISTING GRADE D ADA RAMP AND NEW SIDEWALK PAVING. COPE-OF-WORK TO REPAIR EXISTING
OF EXISTING ADA ACCESSIBLE RAMP AND
STEEL PIPE RAILING PAINTED BLACK AND P STRUCTURE AND WALL MOUNTED TO TO SECTION ON 02/A1.10 FOR APPROPRIATE
PING FINISH OVER ALL EXISTING EXPOSED RAMP TO REMAIN.
ANDRAIL, BALUSTRADES AND HANDRAIL ANDRAIL ANCHORED INTO EXISTING ON OF EXISTING REC CENTER ENTRANCE
COMPONENTS TO BE PAINTED BLACK WITH
L, AND APPLY NEW MULCH TO MATCH
IRB. REFER DRAWING 03/A1.10. PROTECT TO IG TREES DURING EXISTING CONCRETE EXISTING GRADE FOR NEW PLANTER BED









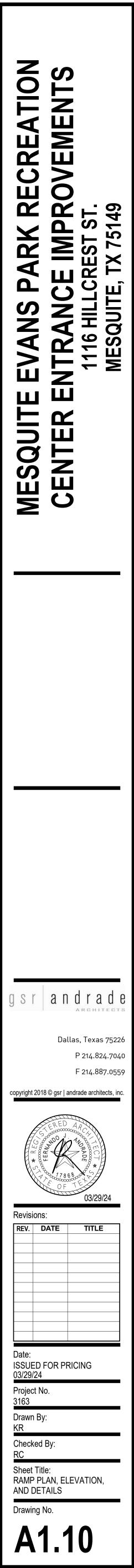
- SAND BLAST EXPOSED ABOVE GRADE CONCRETE FINISH OF RAMP CONSTRUCTION



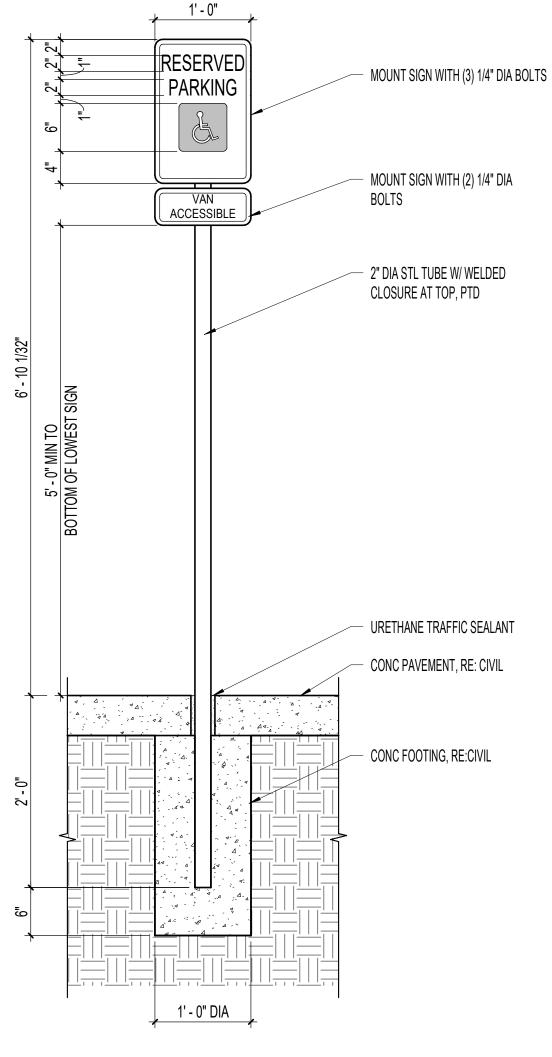
MESQUITE EVANS PARK REC CENTER ACCESSIBLE RAMP PLAN

1/4" = 1'-0"

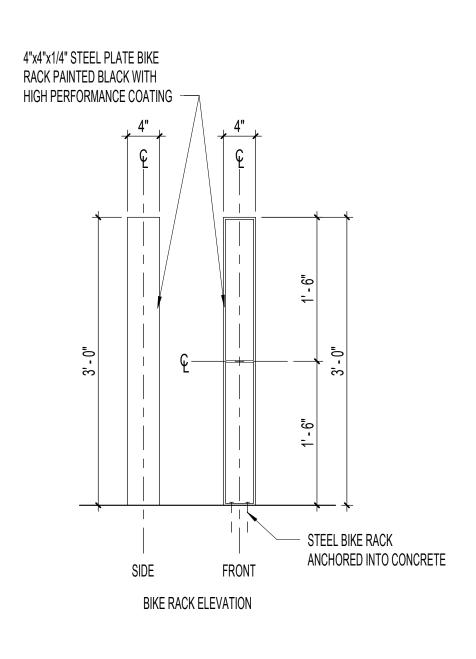
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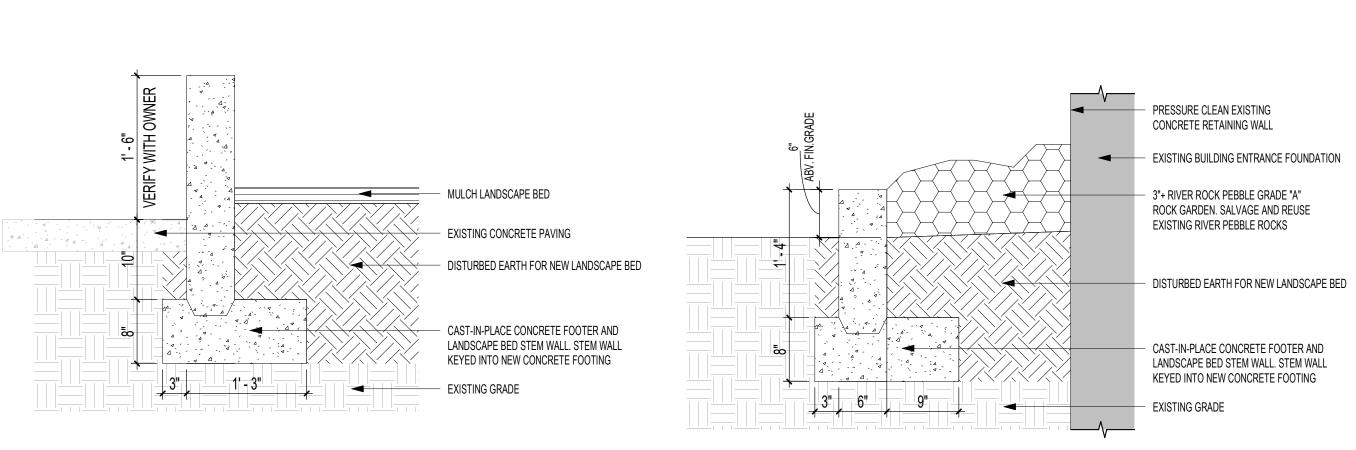


PRESSURE CLEAN EXISTING CONCRETE RETAINING WALL

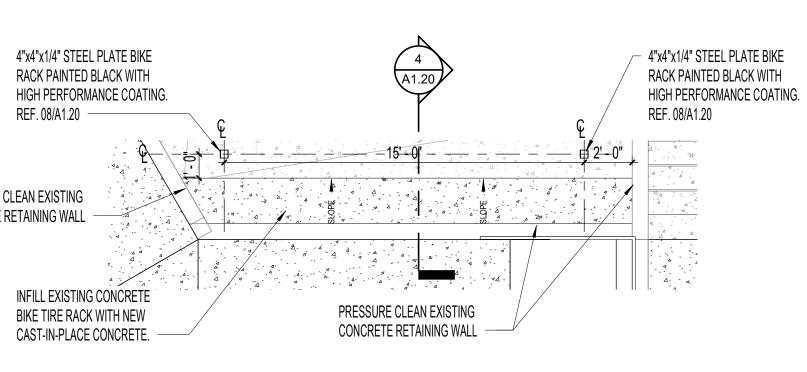


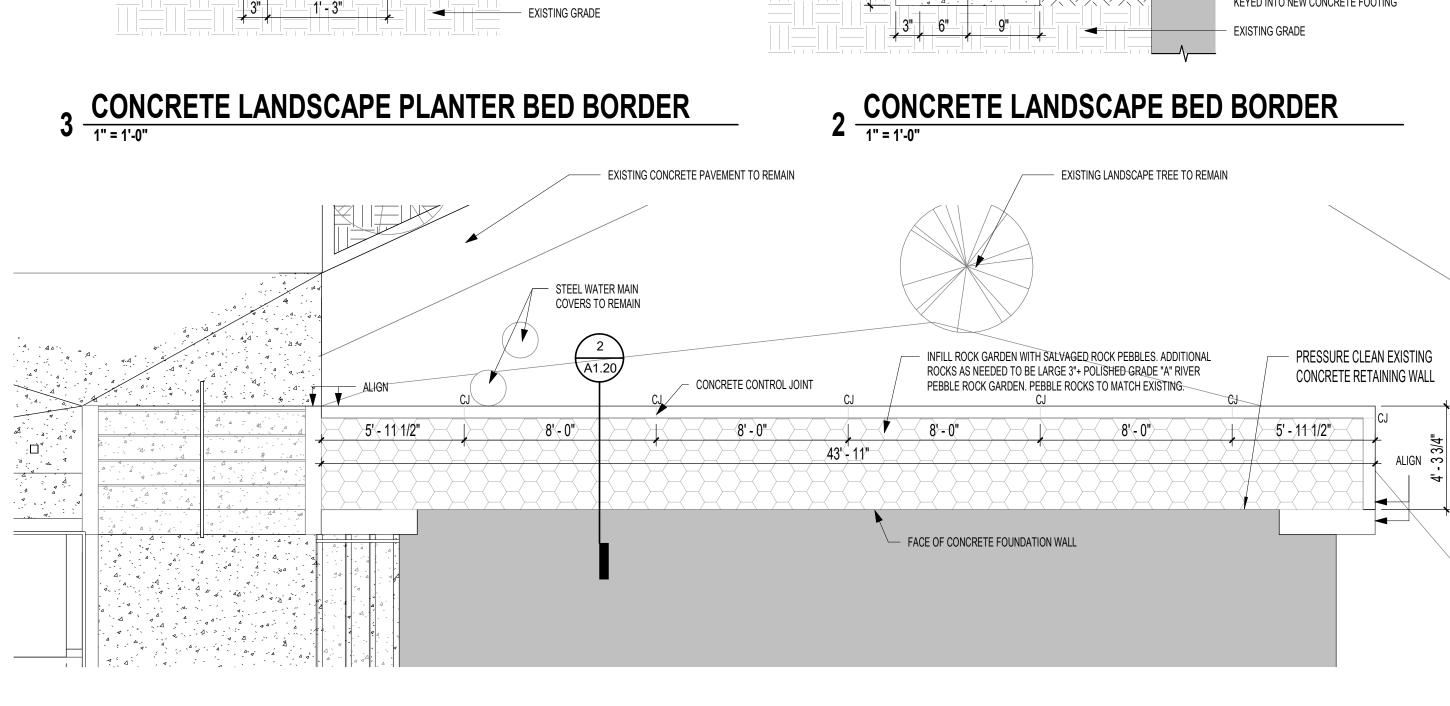




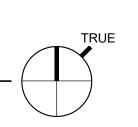






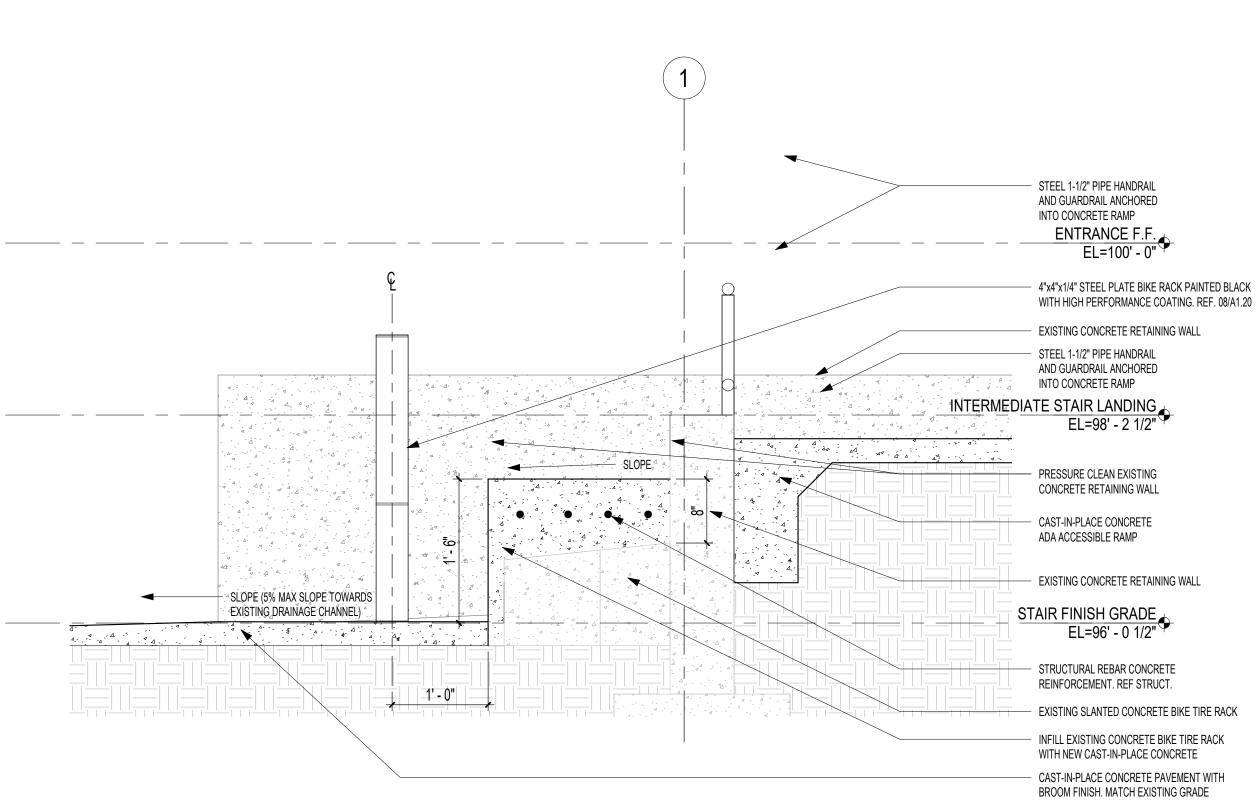






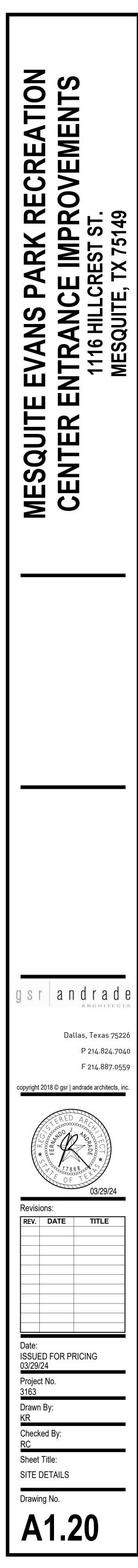
## 1 ROCK GARDEN SITE PLAN ENLARGED PLAN

## 4 BIKE RACK SECTION

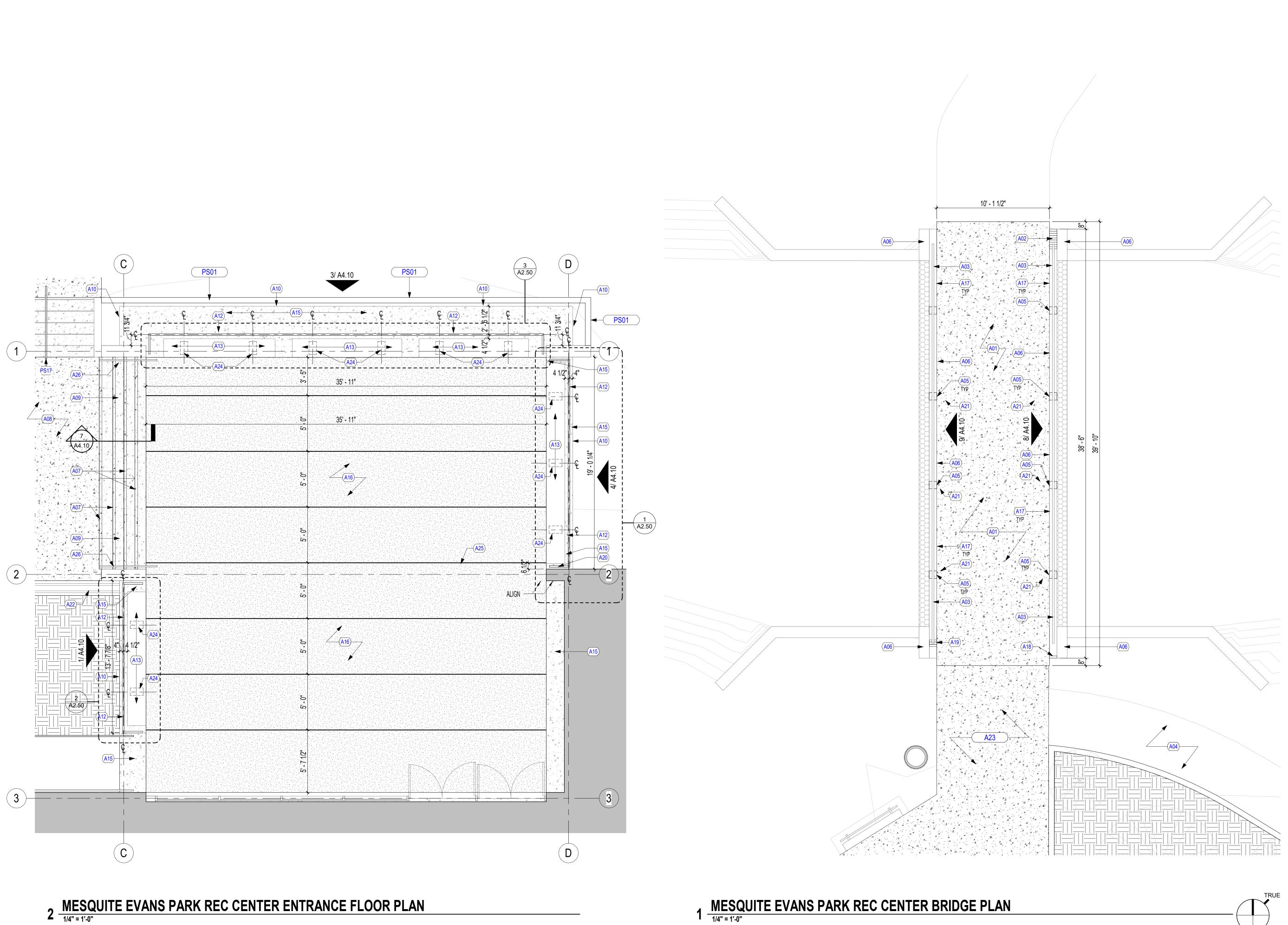


ELEVATIONS AND SLOPE OF REMOVED

CONCRETE "PEBBLE" PAVEMENT



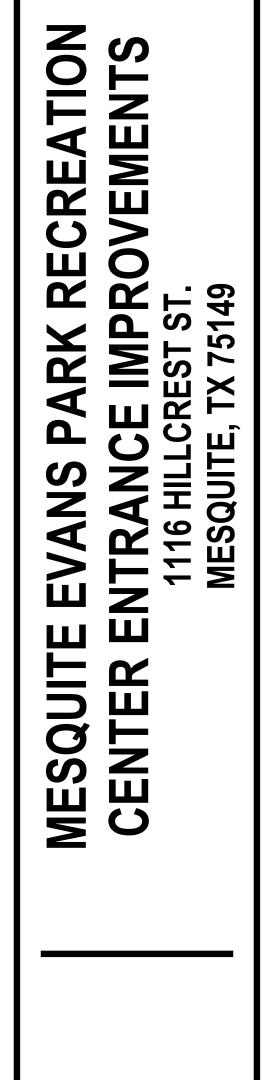
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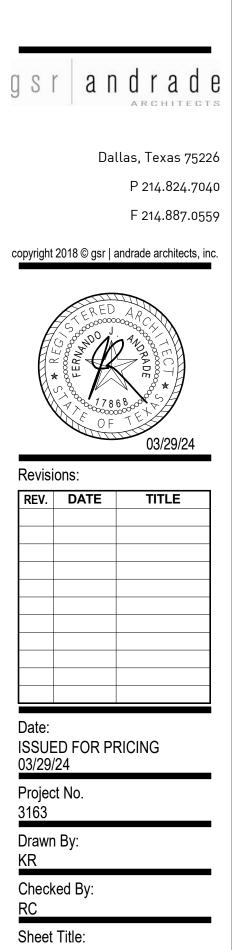


## FLOOR PLAN GENERAL NOTES

- DO NOT SCALE DRAWINGS; DIMENSIONS GOVERN. LARGE SCALE DIMENSIONS GOVERN OVER SMALL SCALE. DIMENSIONS SHOWN ON THE FLOOR PLANS ARE FROM CENTERLINE OF COLUMNS TO FACE OF FINISH OF INTERIOR WALLS AND TO FACE OF FINISH OF EXTERIOR WALLS UNLESS INDICATED OTHERWISE ON PLANS. IF DIMENSIONS ARE IN QUESTION, THE CONTACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATIONS FROM THE ARCHITECT.
- CONTRACTOR SHALL VERIFY-IN-FIELD ALL EXISTING ELEVATIONS AND GRADES TO ENSURE PROPER SLOPES AND GRADE CHANGES REQUIRED IN SCOPE
- FOR FURTHER DIMENSIONS, SEE ENLARGED PLANS, SECTIONS, & ELEVATIONS.
- CONTRACTOR IS TO NOTIFY ARCHITECT IF CONCRETE FLOOR/PAVEMENT SCOPE CONFLICT WITH STRUCTURAL ELEMENTS PRIOR TO PROCEEDING WITH WORK.
- CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES AND SPRINKLER IRRIGATION PIPING LOCATED AROUND PROJECT SCOPE LOCATION. CONTRACTOR SHALL ENSURE ALL BUILDING SYSTEMS REMAIN OPERATIONAL DURING CONSTRUCTION, AND REPAIR ANY DAMAGE CAUSED DURING CONSTRUCTION IMMEDIATELY.
- PROVIDE SEALANT AT JUNCTURE OF EXTERIOR FACES OF ADJACENT MATERIALS.
- ALL NEW CONCRETE SHALL MATCH EXISTING ADJACENT CONCRETE TEXTURE, COLOR, AND MIXTURE. NEW CONCRETE SHALL MATCH EXISTING CONCRETE AFTER BEING PRESSURE CLEANED TO BRING BACK TO ORIGINAL FINISH. U.N.O.
- REFER TO STRUCTURAL DRAWINGS FOR FLOOR SLOPES AND ELEVATIONS.
- REFER TO SHEET A7.30 FOR FINISH SELECTION SUMMARY.

	LEGEND PER SHEET
NUMBER	R DESCRIPTION
A01	2" CONCRETE TOPPING SLAB WITH BROOM FINISH. FINISH GRADE AND SLOPE OF NEW CONCRETE TO MATCH EXISTING.
A02	SALVAGE AND RE-MORTAR FIRST TEN (10) EXISTING HEADER COURSE BRICKS FROM TOP OF EXISTING BRIDGE BRICK WALL.
A03	PAINT EXISTING STEEL TUBE GUARDRAIL. CONTRACTOR SHALL LIGHTLY SAND AND REPAIR ANY IMPERFECTIONS BEFORE FINAL PAINTING.
A04	PRESSURE CLEAN EXISTING CONCRETE CONCRETE PAVEMENT AND SIDEWALKS. REFER TO A1.00 SITE PLAN FOR EXTENTS OF PAVEMENT PRESSURE CLEANING.
A05	CONTRACTOR SHALL PROTECT EXISTING THRU-WALL WEEP HOLES
A06	PRESSURE CLEAN EXISTING BRICK AND CONCRETE RETAINING WALLS OF BRIDGE CONSTRUCTION.
A07	REFORM AND CAST-IN-PLACE NEW STAIR RISERS AND TREADS. DOWEL AND EPOXY STEEL REBAR REINFORCEMENT INTO EXISTING CONCRETE STAIR CONSTRUCTION. MATCH EXISTING PROFILE AND FINISH OF EXISTING CONCRETE STAIRS.
A08	2" CONCRETE TOPPING SLAB WITH BROOM FINISH. FINISH GRADE AND SLOPE OF NEW CONCRETE TO MATCH EXISTING.
A09	PRESSURE CLEAN EXISTING CONCRETE STAIRS TREADS, RISERS, AND LANDINGS.
A10	PRESSURE CLEAN EXISTING EXPOSED/UNPAINTED CONCRETE BELOW FINISH FLOOR OF REC CENTER ENTERANCE.
A12	DECORATIVE ALUMINUM GUARDRAIL AROUND EXISTING CONCRETE BENCHES. DECORATIVE ALUMINUM TUBE GUARDRAIL TO BE ANCHORED INTO EXISTING CONCRETE FLOOR STRUCTURE OF ENTRANCE PAVILION. REFER TO A4.10.
A13	PRESSURE CLEAN EXISTING CONCRETE BENCHES AT REC CENTER ENTERANCE.
A15	PRESSURE CLEAN EXISTING EXPOSED CONCRETE FLOOR FINISH OF REC CENTER ENTRANCE.
A16	CONCRETE TOPPING SLAB WITH PATTERNED REVEALS AND ROCK SALT CONCRETE FINISH. FINISH GRADE AND SLOPE OF NEW CONCRETE TO MATCH EXISTING.
A17	INFILL & REPOINT EXISTING BRICK MASONRY WALL OF BRIDGE WALL CONSTRUCTION. CONTRACTOR SHALL REMOVE EXISTING OLD MORTAR FROM EXISTING BRICK MASONRY EXISTING BRICKS SHALL BE PROTECTED FROM MORTAR REMOVAL. NEW MORTAR FOR REPOINTING SHALL MATCH EXISTING BRICK MORTAR TEXTURE, COLOR, HARDNESS, ANE VAPOR PERMEABILITY. REPOINT AND EVENLY ALLOCATE THE MORTAR BETWEEN ALL JOINTS CLOSING THE VOIDS IN THE EXISTING MASONRY WALL. STRIKE AND FINISH EACH NEW MORTAR JOINT TO MATCH EXISTING MASONRY CONSTRUCTION.
A18	CLEAN EMPTY BRICK COURSE OF ANY LOOSE AND/OR DAMAGED BRICK MORTAR FOR NEW BRICK INSTALLATION. REPLACE EXISTING BROKEN BRICK TO MATCH EXISTING AND RE-MORTAR NEW BRICK TO MATCH EXISTING SOLDIER COURSE BRICK MASONRY CONSTRUCTION FROM TOP OF EXISTING BRIDGE BRICK WALL.
A19	REPLACE EXISTING BROKEN BRICK TO MATCH EXISTING. SALVAGE AND CLEAN OTHER TWO UNDAMAGED EXISTING BRICKS FOR REINSTALLATION. CLEAN EMPTY BRICK COURSES OF ANY LOOSE AND/OR DAMAGED BRICK MORTAR FOR NEW BRICK INSTALLATION. SALVAGE AND RE-MORTAR ALL THREE BRICKS BACK INTO EXISTING BRICK SOLDIER COURSE MASONRY CONSTRUCTION. REINSTALL EXISTING SALVAGED STEEL TUBE RAILING ANCHORS FROM BRICK WALL OF BRIDGE.
A20	REMOVE ALL DAMAGED AND LOOSE CONCRETE FROM DAMAGED CONCRETE FOUNDATION AREA. INFILL DAMAGED AREA OF CONCRETE FOUNDATION WITH NEW CONCRETE AND FINISH TO MATCH ADJACENT CONCRETE FINISH, COLOR, AND TEXTURE.
A21	APPLY CONTROL JOINT INTO NEW CONCRETE TOPPING SLAB. CONTROL JOINTS SHALL ALIGN WITH OUTSIDE EDGE OF EXISTING CONCRETE PILASTERS WITH BRIDGE'S BRICK WALL CONSTRUCTION.
A22 A23	PRESSURE CLEAN EXISTING CONCRETE DRAINAGE TROUGH AT STAIR LANDING.         NEW CAST-IN-PLACE CONCRETE SIDEWALK PAVING SLOPED UNDER 5% PER ADA         REGULATIONS. CONCRETE PAVING IS TO SURFACE DRAIN FOLLOWING NATURAL GRADE         TO DRAINAGE SWELL. REMOVE ADDITIONAL GRADE AS NEEDED FOR GRAVEL DRAINAGE         SUB-GRADEPER STRUCTURAL ENGINEER'S RECOMMENDATIONS. CONCRETE PAVING TO         BLEND INTO EXISTING CONCRETE SIDEWALK PAVING TO REMAIN AT EXISTING GRADES.         PROVIDE CONCRETE CONTROL JOINTS AT 10' MAX O.C. SPACING
A24	PAINT EXISTING CONCRETE BENCH SUPPORT BLACK WITH HIGH PERFORMANCE COATING. CONTRACTOR SHALL PRESSURE CLEAN, LIGHTLY SAND AND REPAIR ANY IMPERFECTIONS BEFORE FINAL PAINTING OF BENCH SUPPORTS.
A25	CAULKED CONCRETE CONTROL JOINT INSERTED INTO NEW CAST-IN-PLACE CONCRETE TOPPING SLAB. CONTROL JOINTS LOCATED AT EXISTING CRACKS IN TOPPING SLAB WHERE STRUCTURE BELOW TRANSITIONS. REFER TO STRUCT.
A26	ADA-COMPLIANT 1-1/2" DIA. STEEL TUBE HANDRAIL AND MATCHING STEEL HANDRAIL WALL BRACKET MOUNTED TO EXISTING STUCCO/CONCRETE EXTERIOR COLUMN OF EXISTING RECREATION CENTER ENTRANCE PAVILION. STEEL PIPE HANDRAIL AND MOUNTING BRACKET PAINTED BLACK WITH HIGH PERFORMANCE COATING. PATCH AND REPAIR EXISTING ANCHORING HOLES FROM REMOVED HANDRAIL, AND EXISTING STUCCO FINISH DAMAGED BY METAL HANDRAIL REMOVAL AND/OR NEW HANDRAIL INSTALLATION AS NEEDED.
PS01	6" CAST-IN-PLACE CONCRETE PLANTER CURB. REFER DRAWING 01/A1.10.
PS17	ADA-COMPLIANT 1-1/2" DIA. STEEL TUBE HANDRAIL, BALUSTRADES AND HANDRAIL EXTENSION TO MATCH REMOVED STEEL HANDRAIL ANCHORED INTO EXISTING CONCRETE EXTERIOR STAIR CONSTRUCTION OF EXISTING REC CENTER ENTRANCE PAVILION. STEEL PIPE HANDRAIL AND ALL COMPONENTS TO BE PAINTED BLACK WITH HIGH PERFORMANCE COATING.

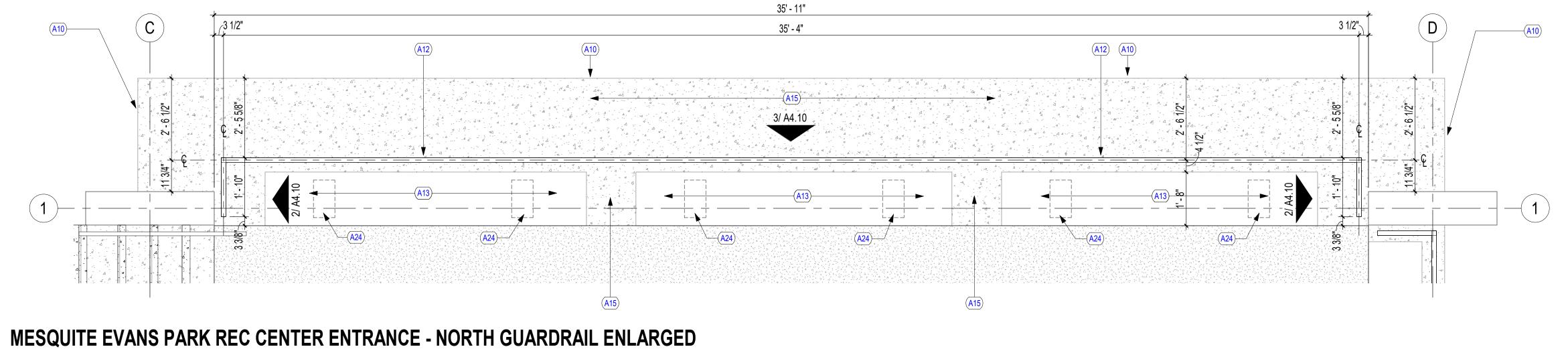




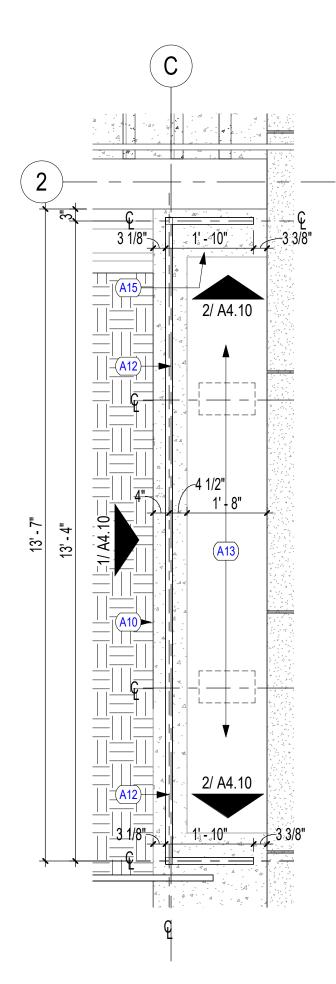
ANNOTATION FLOOR PLANS

A2.10

Drawing No.



3 **PLAN** 1/2" = 1'-0"

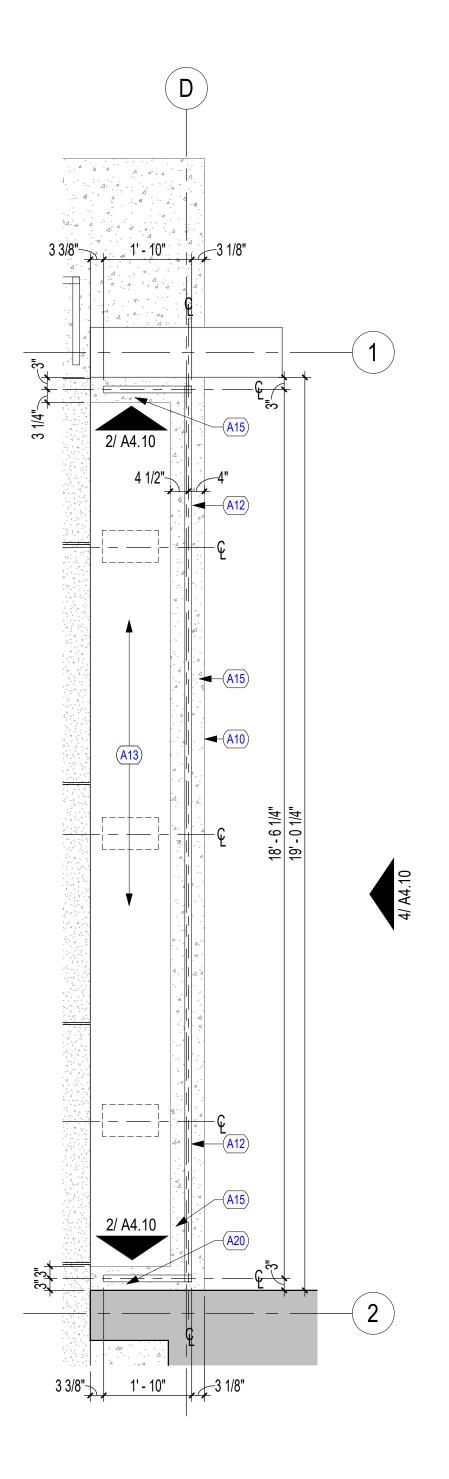


2 MESQUITE EVANS PARK REC CENTER ENTRANCE - WEST GUARDRAIL ENLARGED PLAN

## FLOOR PLAN GENERAL NOTES

- DO NOT SCALE DRAWINGS; DIMENSIONS GOVERN. LARGE SCALE DIMENSIONS GOVERN OVER SMALL SCALE. DIMENSIONS SHOWN ON THE FLOOR PLANS ARE FROM CENTERLINE OF COLUMNS TO FACE OF FINISH OF INTERIOR WALLS AND TO FACE OF FINISH OF EXTERIOR WALLS UNLESS INDICATED OTHERWISE ON PLANS. IF DIMENSIONS ARE IN QUESTION, THE CONTACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATIONS FROM THE ARCHITECT.
- CONTRACTOR SHALL VERIFY-IN-FIELD ALL EXISTING ELEVATIONS AND GRADES TO ENSURE PROPER SLOPES AND GRADE CHANGES REQUIRED IN SCOPE
- FOR FURTHER DIMENSIONS, SEE ENLARGED PLANS, SECTIONS, & ELEVATIONS.
- CONTRACTOR IS TO NOTIFY ARCHITECT IF CONCRETE FLOOR/PAVEMENT SCOPE CONFLICT WITH STRUCTURAL ELEMENTS PRIOR TO PROCEEDING WITH WORK.
- CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES AND SPRINKLER IRRIGATION PIPING LOCATED AROUND PROJECT SCOPE LOCATION. CONTRACTOR SHALL ENSURE ALL BUILDING SYSTEMS REMAIN OPERATIONAL DURING CONSTRUCTION, AND REPAIR ANY DAMAGE CAUSED DURING CONSTRUCTION IMMEDIATELY.
- PROVIDE SEALANT AT JUNCTURE OF EXTERIOR FACES OF ADJACENT MATERIALS.
- ALL NEW CONCRETE SHALL MATCH EXISTING ADJACENT CONCRETE TEXTURE, COLOR, AND MIXTURE NEW CONCRETE SHALL MATCH EXISTING CONCRETE AFTER BEING PRESSURE CLEANED TO BRING BACK TO ORIGINAL FINISH. U.N.O.
- REFER TO STRUCTURAL DRAWINGS FOR FLOOR SLOPES AND ELEVATIONS.
- REFER TO SHEET A7.30 FOR FINISH SELECTION SUMMARY.

KEYNOTE LEGEND PER SHEET			
NUMBER	DESCRIPTION		
A10	PRESSURE CLEAN EXISTING EXPOSED/UNPAINTED CONCRET REC CENTER ENTERANCE.		
A12	DECORATIVE ALUMINUM GUARDRAIL AROUND EXISTING CON DECORATIVE ALUMINUM TUBE GUARDRAIL TO BE ANCHORE FLOOR STRUCTURE OF ENTRANCE PAVILION. REFER TO A4.1		
A13	PRESSURE CLEAN EXISTING CONCRETE BENCHES AT REC C		
A15	PRESSURE CLEAN EXISTING EXPOSED CONCRETE FLOOR FI ENTRANCE.		
A20	REMOVE ALL DAMAGED AND LOOSE CONCRETE FROM DAMA FOUNDATION AREA. INFILL DAMAGED AREA OF CONCRETE F CONCRETE AND FINISH TO MATCH ADJACENT CONCRETE FIN		
A24	PAINT EXISTING CONCRETE BENCH SUPPORT BLACK WITH H COATING. CONTRACTOR SHALL PRESSURE CLEAN, LIGHTLY IMPERFECTIONS BEFORE FINAL PAINTING OF BENCH SUPPO		



## 1 MESQUITE EVANS PARK REC CENTER ENTRANCE - EAST GUARDRAIL ENLARGED PLAN

RETE BELOW FINISH FLOOR OF

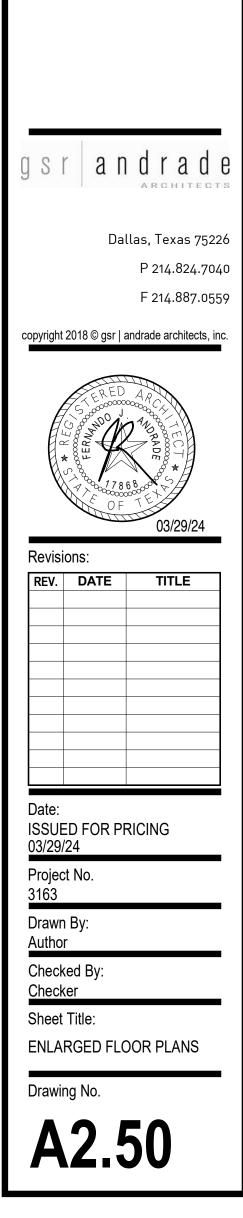
CONCRETE BENCHES. ORED INTO EXISTING CONCRETE CENTER ENTERANCE.

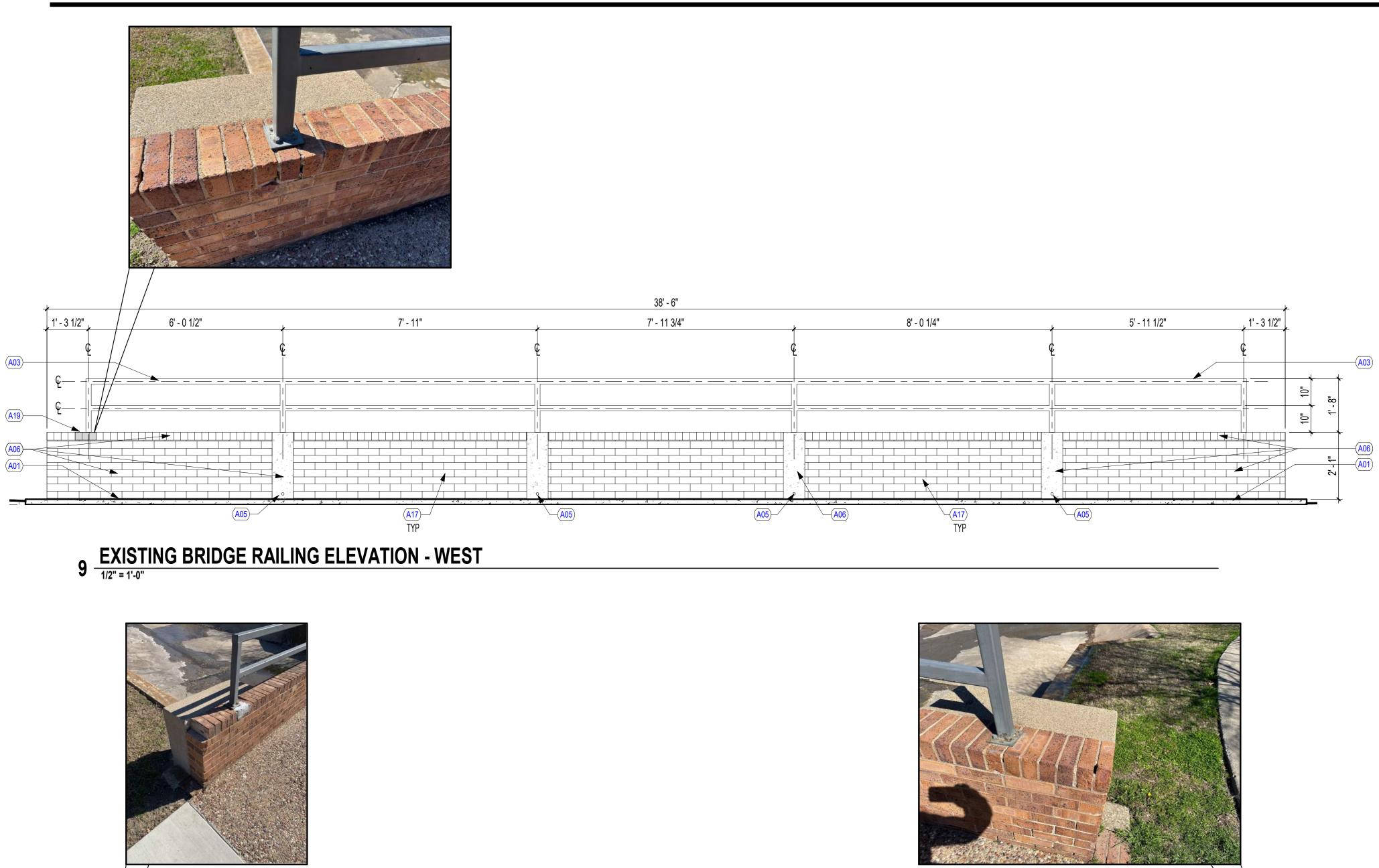
FINISH OF REC CENTER

AMAGED CONCRETE E FOUNDATION WITH NEW FINISH, COLOR, AND TEXTURE HIGH PERFORMANCE LY SAND AND REPAIR ANY

PORTS.







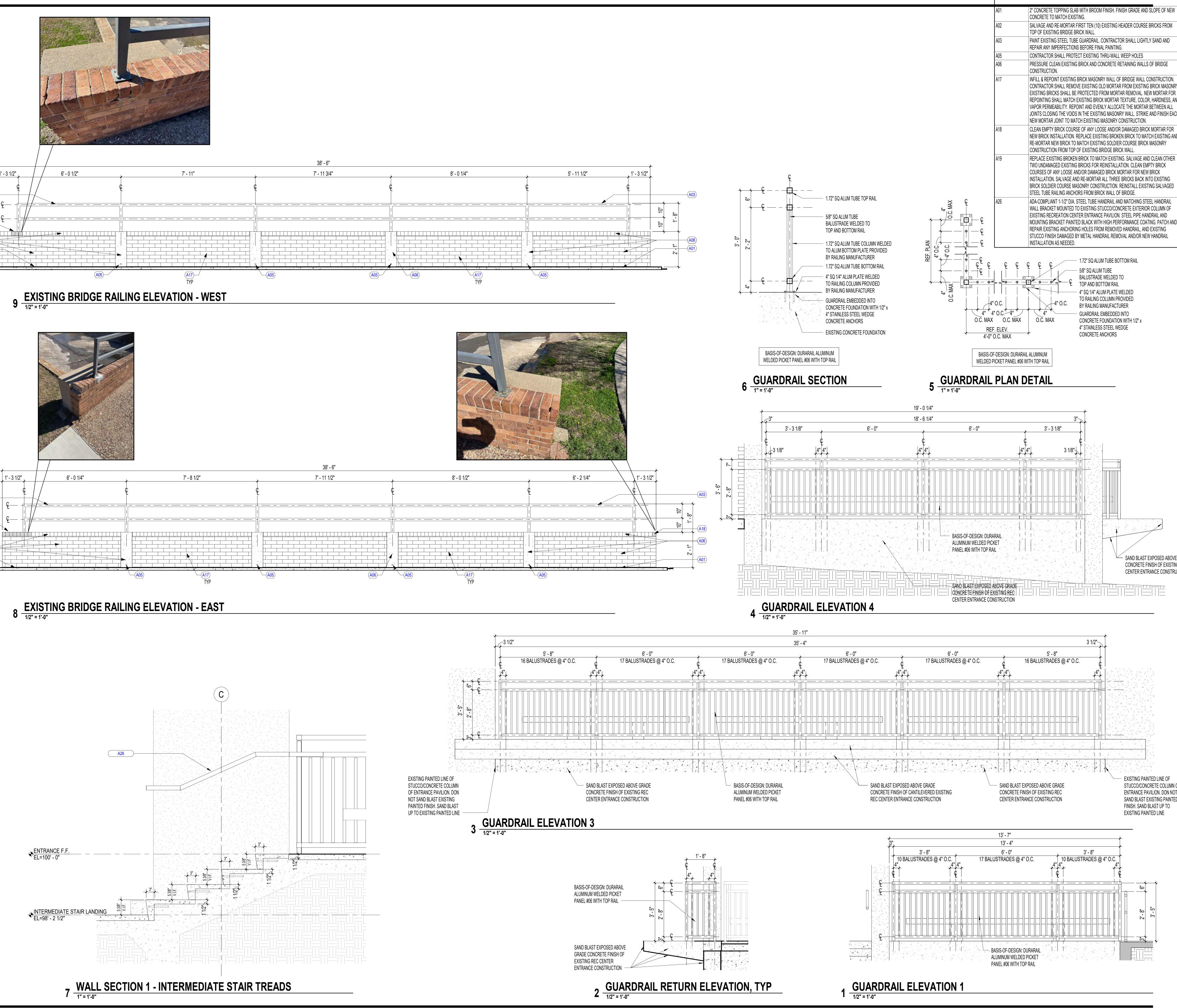


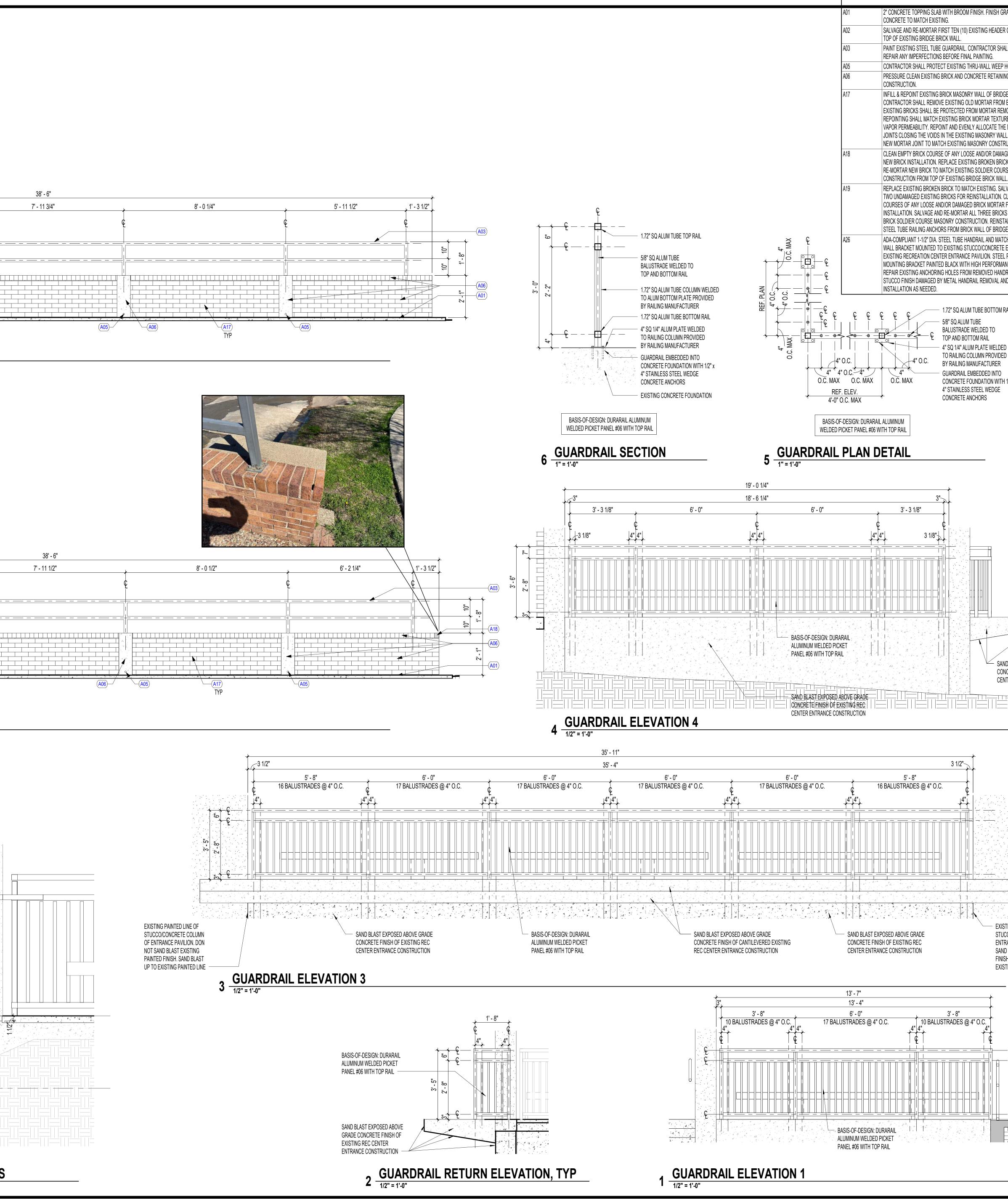
(A03)-----

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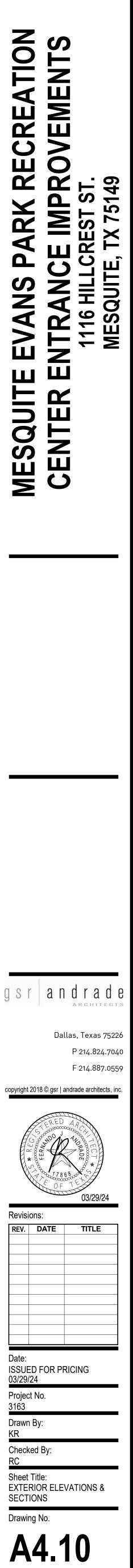
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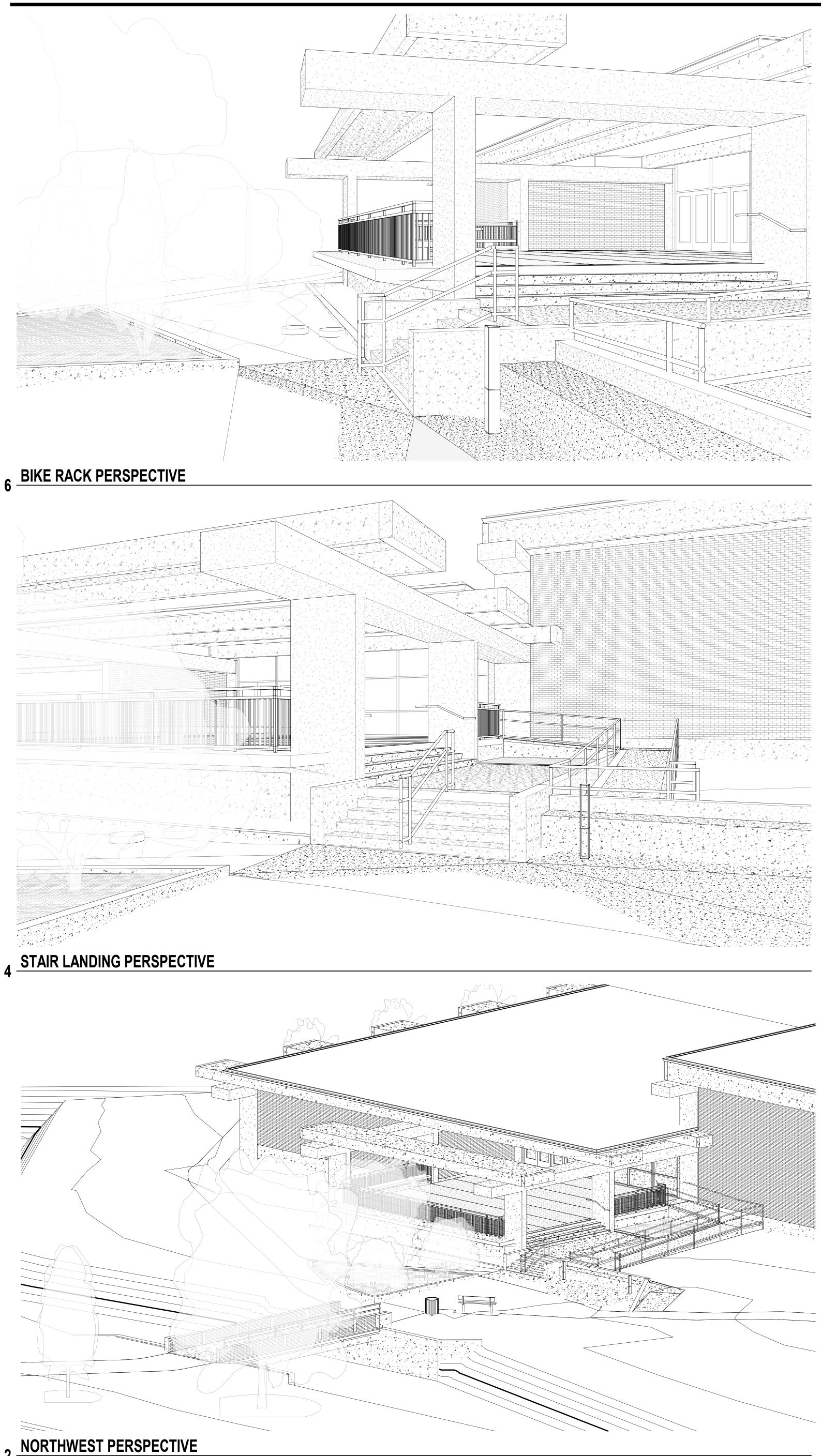
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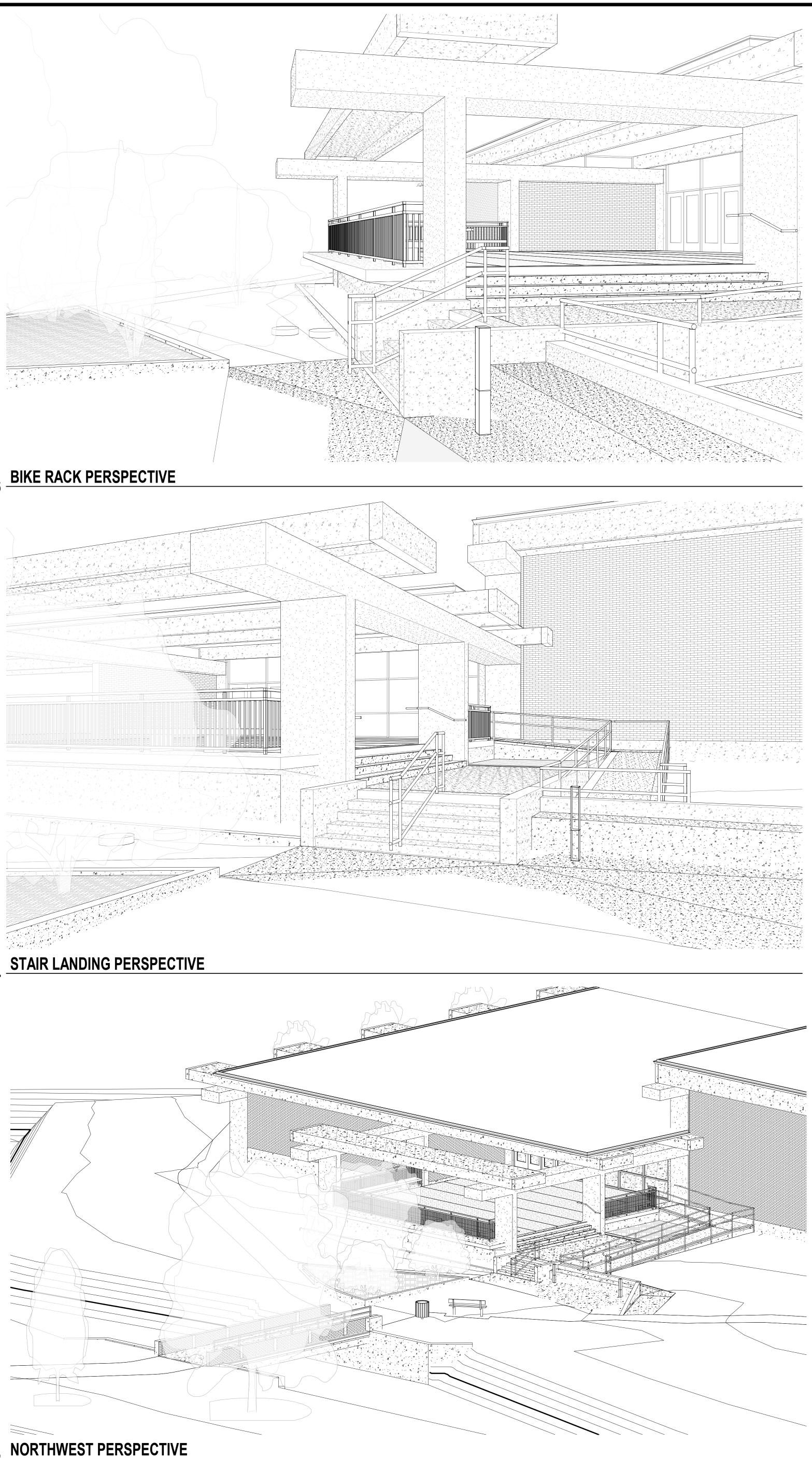




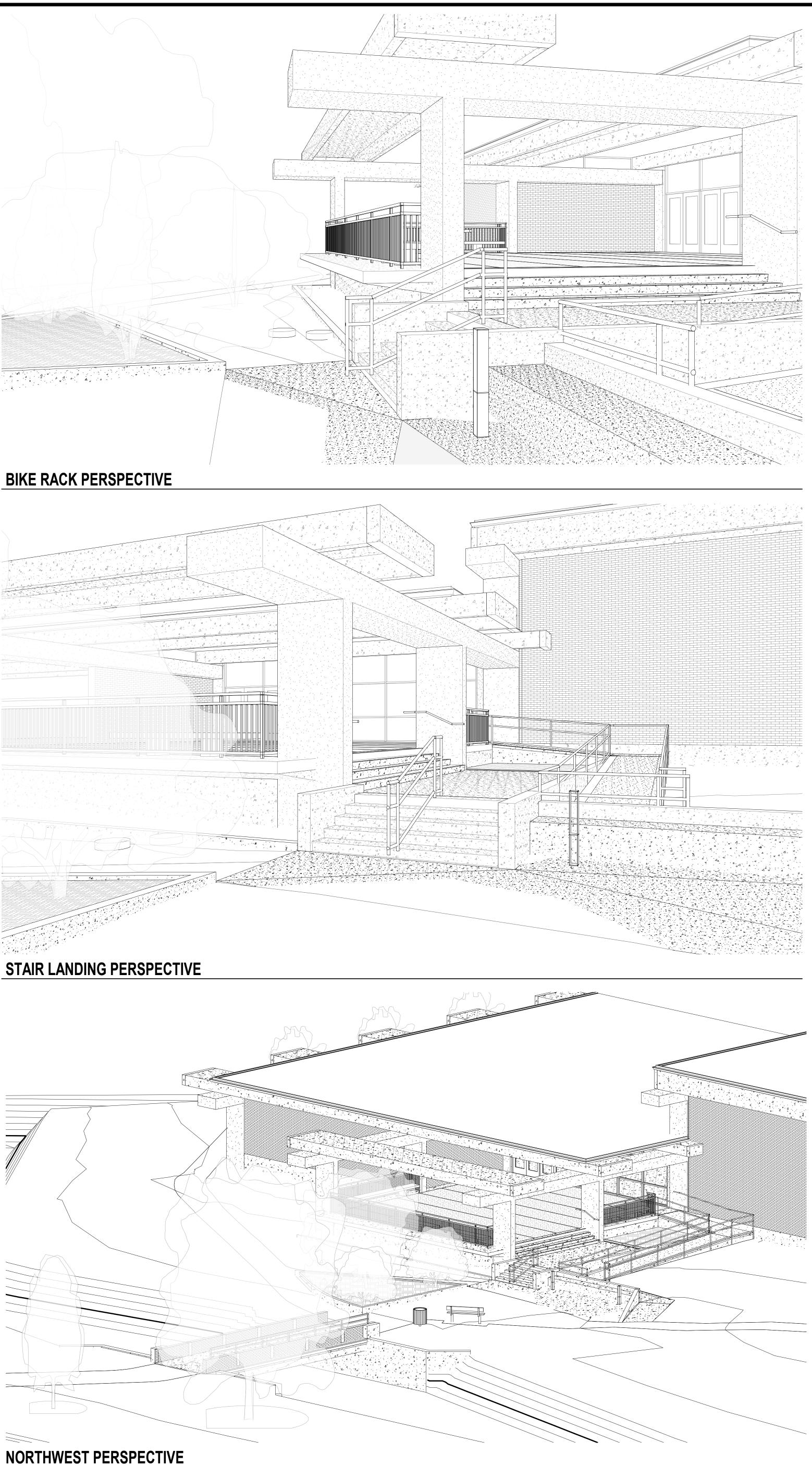
SAND BLAST EXPOSED ABOVE GRADE CONCRETE FINISH OF EXISTING REC CENTER ENTRANCE CONSTRUCTION - EXISTING PAINTED LINE OF Revisions: STUCCO/CONCRETE COLUMN OF ENTRANCE PAVILION. DON NOT SAND BLAST EXISTING PAINTED FINISH. SAND BLAST UP TO EXISTING PAINTED LINE Project No. 3163 Drawn By: 3'-KR

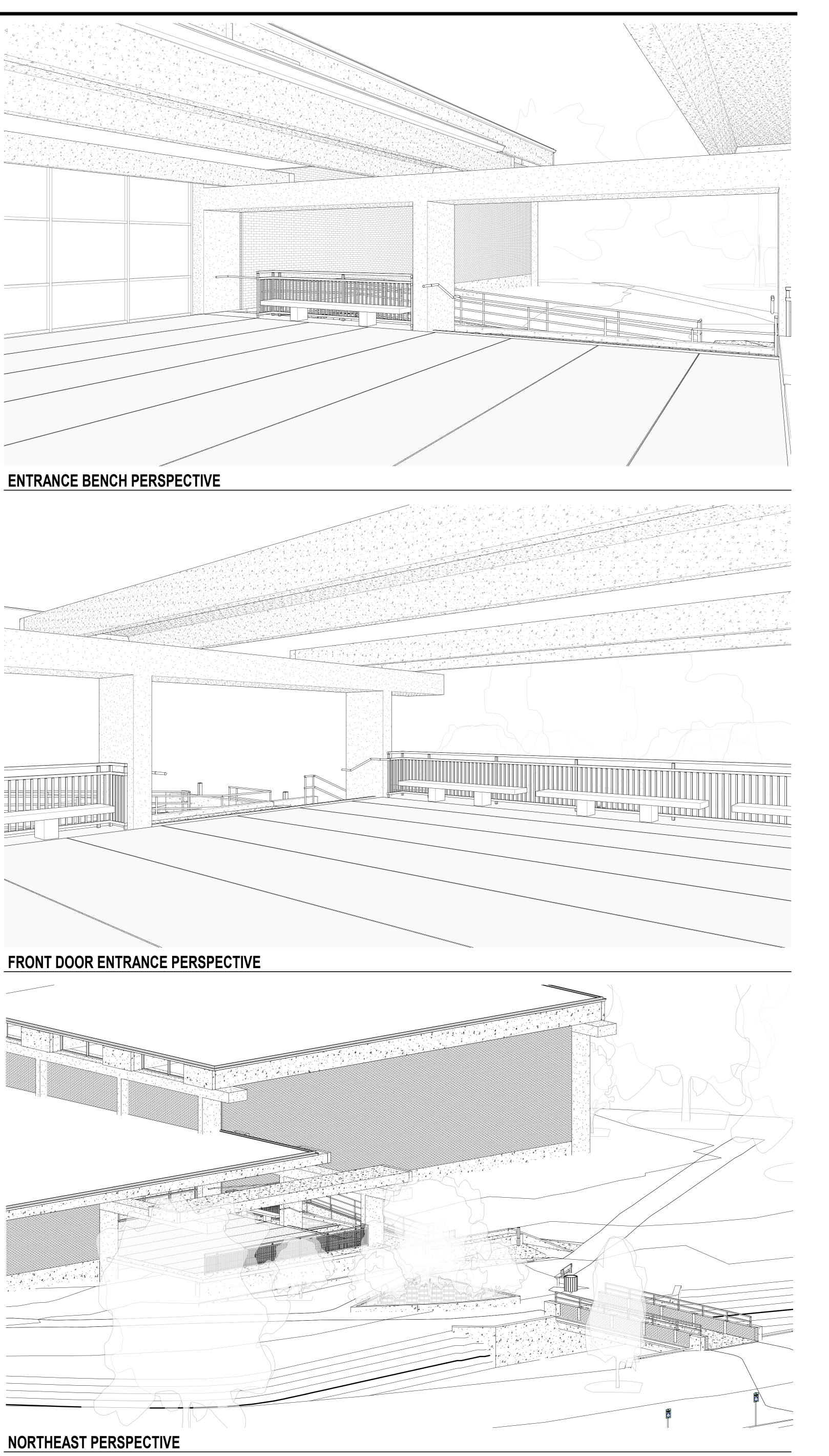


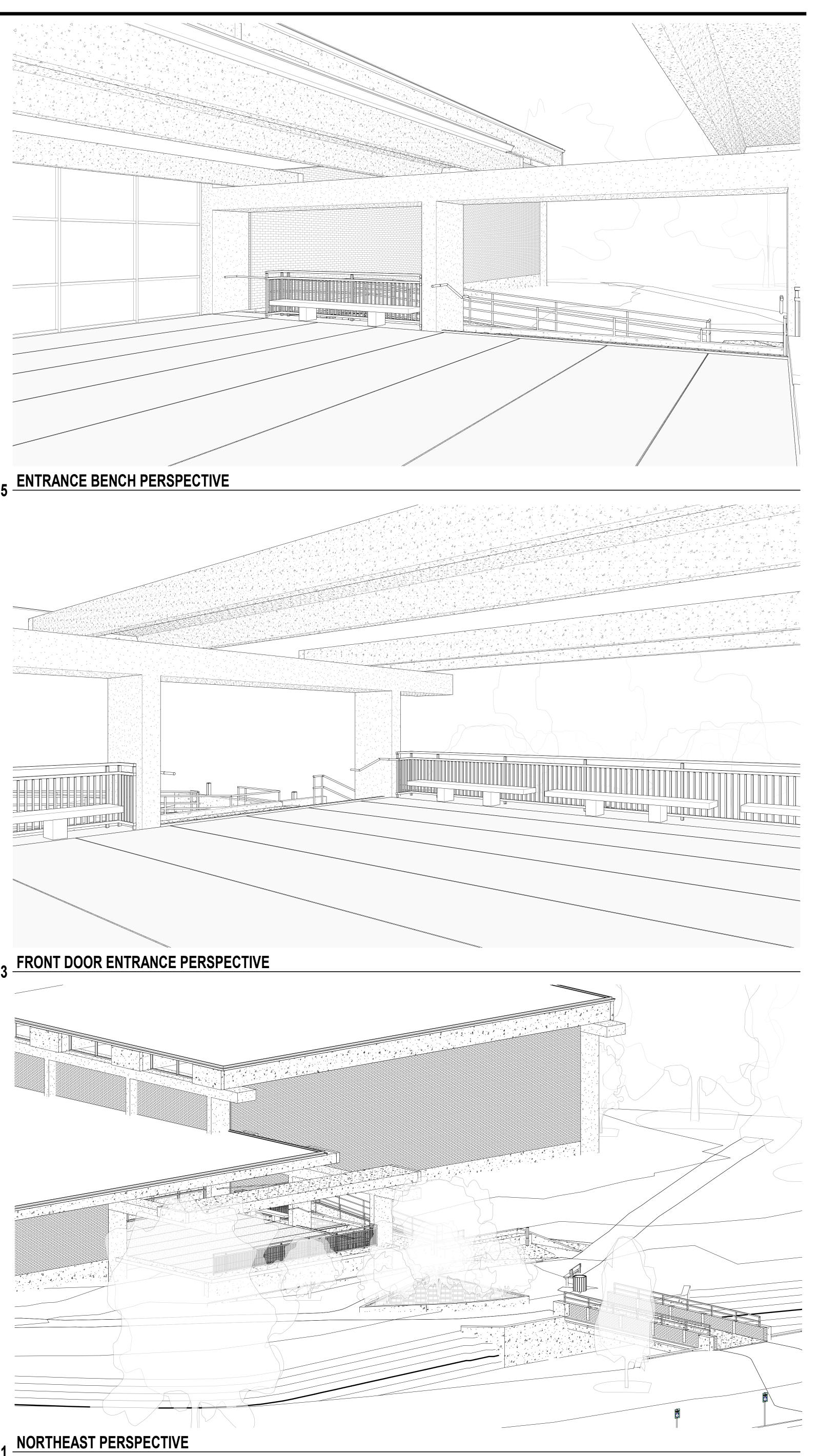


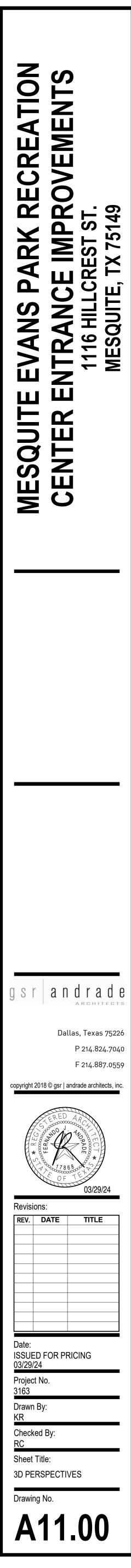












## **COORDINATION**

- A. Shop drawings shall be prepared for all structural items and submitted for review by the engineer. Structural drawings shall not be reproduced and used as shop drawings. All items deviating from the structural drawings or from previously submitted shop drawings shall be clouded.
- B. The details designated as "typical details" apply generally to the structural drawings in all areas where conditions are similar to those described in the
- C. All dimensions and conditions of existing construction shall be verified at the job site prior to the preparation of shop drawings. Differences between existing construction and that shown on the structural drawings shall be referred to the architect. Differences shall also be clouded on the shop drawings.
- D. All structural elements of the project have been designed by the engineer to resist the required code vertical and lateral forces that could occur in the final completed structure only. It is the responsibility of the contractor to provide all required bracing during construction to maintain the stability and safety of all structural elements during the construction process until the lateral-load resisting or stability-providing system is completely installed and the structure is completely tied together. Temporary supports shall not result in the overstress or damage of the elements to be braced nor any elements used as brace supports.
- E. The contract structural drawings and specifications represent the finished structure, and except where specifically shown, do not indicate the means or methods of construction. The contractor and their sub-contractors shall supervise and direct the work and shall be solely responsible for all construction means, methods, procedures, techniques, sequences and safety measures including, but not limited to, adherences to all osha guidelines. The engineer shall not have control of, and shall not be responsible for, construction means, methods, techniques, sequences or procedures, for safety precautions and programs in connection with the work, for the acts or omissions of the contractor, subcontractors, or any other person performing any of the work, or for the failure of any of these persons to carry out the work in accordance with the structural contract documents.
- F. Where conflict exists among the various parts of the structural contract documents, structural drawings, general notes, and specifications, the strictest requirements, as indicated by the engineer, shall govern.
- G. Periodic site observation by field representatives of JQ is solely for the purpose of determining if the work is proceeding in accordance with the structural contract documents. This limited site observation is not intended to be a check of the quality or quantity of the work, but rather a periodic check in an effort to inform the owner against defects and deficiencies in the work of the contractor.

## SUBSTITUTIONS

- A. All requests for substitutions of materials or details shown in the Structural Contract Documents shall be submitted for approval during the bidding period.
- B. Once bids are accepted, proposed substitutions will be considered only when they are officially submitted with an identified savings or duration to be deducted from the contract and/or schedule impact. Submittals not satisfying the above criteria will not be considered.

CODES & REFERENCED REPORTS

- A. The General Building Code used as the basis for the structural design is as follows: International Building Code, 2021 Edition 2. International Existing Building Code, 2021 Edition
- B. Structural Steel: Manual of Steel Construction, American Institute of Steel Construction Inc., ANSI/AISC 360, as referenced by the General Building Code.

### DESIGN LOADS

- A. Dead Loads include the self-weight of the structural elements.
- B. Balcony Railing and Guardrails: The balcony railings and guardrails are designed for 50 pounds/ft load applied horizontally at right angles to the top rail or a 200 pound concentrated load applied in any direction at any point along the top rail, whichever is greate

### SUBMITTALS

- A. Shop drawings shall be prepared for all structural items and submitted for review by the Engineer. Structural Drawings shall not be reproduced and used as shop drawings. All items deviating from the Structural Drawings or from previously submitted shop drawings shall be clouded.
- B. Contractor shall review shop drawings for compliance with the Structural Drawings and shall certify that they have done so by a stamp noting that the drawings have been "Approved" and which bears the signature (or initials) of an authorized representative of the Contractor and the date. Submittals which do not reflect the Contractor's approval, signature and date will be returned without review.
- C. Contractor shall be responsible for delays caused by rejection of inadequate shop drawings.
- D. Where review and return of shop drawings is required or requested, the Engineer will review each submittal and, where possible, return within two (2) weeks of receipt.
- E. Corrections or comments on shop drawings or manufacturer's data sheets do not relieve the Contractor from compliance with requirements of the plans and specifications. Engineer's review is for general conformance with the requirements of the Structural Drawings. Contractor is responsible for confirming and correcting all quantities and dimensions, selecting fabrication processes and techniques of construction, and coordinating the work with that of all other contractors.
- F. Refer to individual sections for specific submittal requirements. G. Submittals to be submitted electronically. Contractor will be responsible for providing and distributing Engineer's comments to their subcontractors.

## CAST-IN-PLACE CONCRETE

A CONCRETE MIX USAGE SCHEDULE:

۱.		L.				
All concrete shall conform to the requirements as specified in the table be unless noted otherwise on the Structural Drawings:					below,	
	Use	Strength p	si Agg.	Agg.	Max	Exposure
		0 1		Size	w/c	Ċlass
	Grade Beams	4500	NŴT	1"	0.45	F2
	Exterior Slab-on-Grade	4500	NWT	1"	0.45	F2
	Topping over Precast	3000	NWT	3/8"		F0
	1. "NWT" refers to normal concrete having air dry unit weight of					

- approximately 145 PCF (ASCE C33 aggregate) 2. The w/c ratio shall be selected by the concrete provider to meet the strength requirements and shall not exceed w/c ratio = 0.55. Where the maximum w/c ratio is indicated in the table above, it shall not be exceeded.
- 3. "Strength" is required compressive cylinder strength at an age of 28 days. Concrete slump for all floor slabs shall be between 4" - 6" slump. 5. Concrete slump shall be selected by concrete provider to meet strength requirements and workability required for the concrete placement. Slump shall not exceed 9" for any mix and meet the requirements of the ACI.
- B. Fly ash shall not be used in architecturally exposed concrete.
- C. Provide 6 percent plus or minus 1 1/2 percent of entrained air in concrete permanently exposed to the weather and elsewhere at the contractor's option.
- D. Horizontal construction joints in concrete placements shall be permitted only where indicated on the Structural Drawings. All vertical construction joints shall be made in the center of spans in accordance with the typical details. Contractor shall submit proposed locations for construction joints not shown on the Structural Drawings for review by the Architect and Engineer. Additional construction joints may require additional reinforcing as specified by the Engineer which shall be provided by the contractor at no additional cost to the
- owner. E. Embedded conduits, pipes, and sleeves shall meet the requirements of ACI 318, Section 26.8, including the following: 1. Conduits and pipes embedded within a slab, wall, or beam (other than
- those passing through) shall not be larger in outside dimension than 1/3 the overall thickness of the slab, wall or beam in which they are embedded. 2. Conduits, pipes and sleeves shall not be spaced closer than three diameters or widths on center.
- F. Submittal: Submit proposed mix designs in accordance with ACI 301, chapter 4.2. Each proposed mix design shall be accompanied by a record of past performance based on at least 30 consecutive strength tests, or by three laboratory trial mixtures with confirmation tests.
- G. Grade beams in contact with earth shall be formed both sides unless noted otherwise in details.
- H. Concrete sampling for quality assurance: Concrete that is pumped shall be sampled at the point of discharge from the truck.

## F. Welding of reinforcing steel will not be permitted Structural Drawings. G. Heat shall not be used in the fabrication or ins H. Reinforcing steel clear cover shall be as follow 1. Formed grade beams 2. Slab-on-grade a. "Exterior Exposure" refers to concre

### TOPPING SLAB OVER PRECAST CONCRETE A. Provide tooled control joints in topping slab lo units. Sawcut joints are allowed only if made as soon as possible after the finishing operation sawcut control joints shall be 1/4 the thickness

- B. Place topping slab to a uniform thickness of 2 unless noted otherwise on the Structural Drav C. Topping slabs over precast concrete units sha
- thickness of 2" at supports and finished to pro tolerances. Topping thickness may vary away the precast concrete units, deflections of the s residual camber of precast units and supporti D. Reinforce topping slab with minimum 4x4-W2
- mid-depth of slab unless shown otherwise in supported on and tied to chairs.
- E. Clean exposed reinforcing steel by oil-free ab blasting. Verify that the reinforcing steel and cement fines (slurry), or any material that may concrete topping slab.
- F. Apply bonding agent to roughened surface of Sika Armatec 110 Epocem or Equal, Comply manufacturer's written instructions.

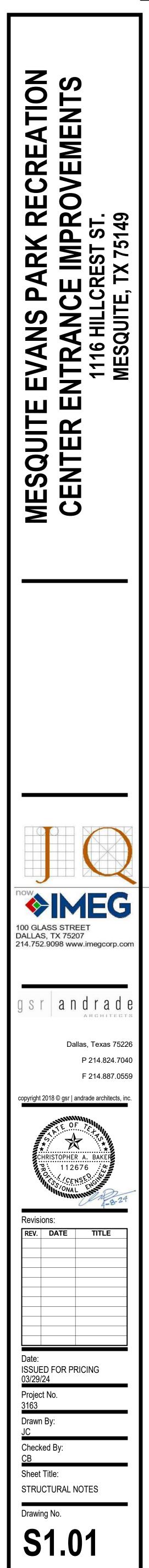
## POLYMER MODIFIED REPAIR MORTAR

- A. Polymer modified repair mortar shall be manu Comply with all handling, mixing, placing and the Sika Corporation.
- B. Consult Sika representative if questions arise material installation procedures.
- C. Chip out all loose and unsound concrete and application thickness. Surface preparation sh Guideline 310.2R-2013: "Selecting and Spec Sealers, Coatings, and Polymer Overlays". minimum of CSP-5. Waterblast concrete sur saturated surface dry (SSD) surface.
- D. Apply a scrub coat of repair mortar to existing repair mortar mix. Repair mortar must be app
- E. Bonding agent (where called for) shall be Sika agent. Apply prior to application of repair mor application of bonding agent and repair mortal
- F. Clean exposed reinforcing steel by oil-free ab blasting. Verify that the reinforcing steel and cement fines (slurry), or any material that may mortar.
- G. Coat exposed reinforcing steel with Sika Arma accordance with manufacturer's instructions.
- H. Repair mortar for horizontal surfaces (hand a Repair mortar shall be Sika Sikatop 122
- Mortar, or accepted equal. 2. Application thickness:
- a. Minimum: 1/4 inch b. Maximum in one lift: 1 inch 3. For installations greater than 1 inch and I
- repair mortar with 3/8 inch coarse aggre

### I. Repair mortar for vertical and overhead surface 1. Repair mortar shall be Sika SikaTop 123 Mortar, or accepted equal. 2. Application thickness: a. Minimum: 1/4 inch

STRU	C T U R A L	N O T E S
CONCRETE REINFORCING	POST-INSTALLED ANCHORS AND DOWELS A. Mechanical Anchors:	JOINT SEALANT
<ul> <li>A. Concrete reinforcement for the project shall conform to the following:</li> <li>1. All reinforcing steel shall be new billet steel in accordance ASTM A615, Grade</li> <li>60, unless noted otherwise in the Structural Drawings or these notes.</li> <li>2. Welded wire reinforcement, Welded smooth wire reinforcement, ASTM</li> </ul>	Note: Hilti products listed below shall be considered as basis of design, unless noted otherwise. Additional anchors listed below may be utilized if officially requested as a	A. Joint sealant shall be a 2-component, premium-grade, polyurethane-based, elastomeric sealant with a chemical cure. Sealant shall have a self-leveling consistency in horizontal applications, and a non-sag consistency in vertical applications.
A1064, yield strength 65,000 psi where noted on the Structural Drawings. Welded deformed wire reinforcement, ASTM A1064, yield strength 70,000 psi	substitution by the Contractor and approved by JQ for the specific applications. If a substitution request is submitted, the anchor size and/or spacing is subject to change. Additional cost for design services may apply.	applications. B. All joint surfaces shall be clean, sound and frost-free. Joint walls shall be free of oil,
<ul><li>where noted on the Structural Drawings. Welded wire reinforcement to be provided in flat sheets.</li><li>3. Fibrous Reinforcement. Polypropylene fibrillated fiber specifically</li></ul>	<ol> <li>Screw Anchors:</li> <li>a. In Concrete: Screw Anchors shall have been tested and qualified in accordance with ACI 355.2 and ICC-ES AC 193. Qualifying anchors shall be</li> </ol>	grease, curing compound residues, and any other foreign matter that may prevent bond. Cleaning and preparation of joint surfaces shall be accomplished by mechanical means.
manufactured for use as concrete reinforcement and added to concrete mix according to manufacturer's instructions and recommended dosages shall be used in composite slabs or as otherwise noted on the Structural Drawings.	one of the following: 1. Kwik HUS-EZ, CRC, or SS (ICC-ES ESR-3027), Hilti Inc. 2. Titen HD (ICC-ES ESR-2713), Simpson Strong-Tie Co., Inc.	C. Bond breaker tape, closed-cell backer rod or other approved method shall be used in bottom of joint to control depth and to prevent bond to bottom of joint.
<ul> <li>B. Detailing of reinforcing steel shall conform to the American Concrete Institute 315</li> <li>Detailing Manual and all hooks and bends in reinforcing bars shall conform to ACI</li> </ul>	<ul> <li>3. Screw Bolt+ (ICC-ES ESR-3889), DEWALT</li> <li>b. In Grouted Masonry: (Installation permitted in both the top and face of wall)</li> <li>Screw Anchors shall have been tested and qualified in accordance with</li> </ul>	D. Thoroughly mix A, B and color pack components in accordance with manufacturer's instructions to achieve a uniform color and consistency.
detailing standards, unless noted otherwise on the Structural Drawings. C. Welded Wire Reinforcement shall be continuous across the entire concrete surface	ICC-ES AC 106. Do not install anchors within 1 1/2" of a head joint, notify JQ if conflict occurs. Qualifying anchors shall be one of the following products: 1. Kwik HUS-EZ and HUS-EZ P (ICC-ESR-3056), Hilti Inc.	E. Pour or extrude sealant in one direction and allow to flow and level as necessary. Place nozzle of gun into bottom of joint and fill entire joint. Keep the nozzle deep in
and not interrupted by beams or girders and properly lapped one cross wire spacing plus 2".	<ol> <li>Titen HD (ICC-ES ESR-1056), Simpson Strong-Tie Co., Inc.</li> <li>Screw Bolt+ (ICC-ES ESR-4042), DEWALT</li> </ol>	the sealant and continue with steady flow of sealant preceding nozzle to avoid air entrapment. Do not overlap sealant. Tool joint surface as required.
D. Reinforcement in Topping Slabs shall be welded smooth wire reinforcement minimum 4 x 4 W2.9 x W2.9 in all topping slabs unless specified otherwise on the Structural Drawings.	<ul> <li>B. Adhesive Anchors:</li> <li>Note: Hilti anchor rods &amp; Hilti acrylic (epoxy) adhesive products listed below shall be</li> </ul>	<ul> <li>F. Self-leveling joint sealant shall be Sikaflex -2c SL by Sika Corp. or accepted equal.</li> <li>G. Non-sag joint sealant shall be Sikaflex -2c NS by Sika Corp. or accepted equal.</li> </ul>
<ul> <li>E. In unscheduled grade beams, walls, and slabs, detail reinforcing as follows:</li> <li>1. Class A lap beam top reinforcing bars at mid span.</li> </ul>	considered as basis of design, unless noted otherwise. Additional anchors listed below may be utilized if officially requested as a substitution by the Contractor and approved by JQ for the specific applications. If a substitution request is submitted, the anchor	<ul> <li>Herrolog joint occurrent of an occurrent of a complex of</li></ul>
<ol> <li>Class A lap beam bottom reinforcing bars at the supports.</li> <li>Provide Class B lap at other location pending Engineer's approval.</li> </ol>	size and/or spacing is subject to change. Additional cost for design services may apply. 1. Adhesive Anchors with Threaded Rod: a. In Concrete: Adhesive Anchors shall have been tested and qualified in	I. Color as selected by Architect.
<ol> <li>Provide standard hooks in top bars at cantilever and discontinuous ends of beams, walls and slabs.</li> <li>Provide corner bars for all horizontal bars at the inside and outside faces of</li> </ol>	accordance with ACI 355.4 and ICC-ES AC 308. Qualifying anchors shall be one of the following products, unless specifically noted otherwise on structural drawings:	
intersecting beams or walls. Corner bars are not required if horizontal bars are hooked. 6. Provide 2-#4 diagonal bars at all slab re-entrant corners placed under the top	<ol> <li>Epoxy: HIT-RE 500V3 SAFESET (ICC-ES ESR-3814), Hilti Inc.</li> <li>Epoxy: SET-3G (ICC-ES ESR-4057), Simpson Strong-Tie Co., Inc.</li> <li>Epoxy: Pure 110+ (ICC-ES ESR-3298), DEWALT</li> </ol>	SPECIAL INSPECTIONS
mat of steel. F. Welding of reinforcing steel will not be permitted unless specifically shown on the	<ol> <li>Acrylic: HIT-HY 200 V3 SAFESET (-A/-R) (ICC-ES ESR-4878), Hilti Inc.</li> <li>Acrylic: AT-XP (IAPMO-UES ER-0263), Simpson Strong-Tie Co., Inc.</li> </ol>	A. Special Inspections shall be performed in accordance with Chapter 17 of the 2021 International Building Code (IBC) by a Special Inspector hired by the Owner to perform the Special Inspections listed below. The Special Inspector shall be qualified by an approved agency according to the City's building official to perform the special inspections for which they will be undertaking. The Contractor shall coordinate
Structural Drawings. G. Heat shall not be used in the fabrication or installation of reinforcement.	<ul> <li>6. Acrylic: AC 200+ (ICC-ES ESR-4027), DEWALT</li> <li>b. In Grouted Concrete Masonry: (Installation permitted in both the top and face of wall) Adhesive Anchors shall have been tested and qualified in</li> </ul>	with and notify the Special Inspector of all tests. The Special Inspector shall be responsible to verify that the items detailed in the Construction Documents were built accordingly and shall prepare, sign, and furnish inspection reports to the building official and the
<ul> <li>Heat shall hot be used in the fabrication of installation of remote ement.</li> <li>H. Reinforcing steel clear cover shall be as follows:</li> <li>1. Formed grade beams</li> <li>1 1/2" top, 2" sides, 3" bottom</li> </ul>	accordance with ICC-ES AC 58. Qualifying anchors shall be one of the following: 1. Acrylic: HIT HY-270 SAFESET (ICC-ES ESR-4143), Hilti, Inc.	Architect for all time spent at the site. The Inspector shall bring discrepancies to the immediate attention of the General Contractor for correction. If the discrepancies are not corrected, the discrepancies shall be brought to the attention of the building official and to the Architect prior to the completion of that phase of the work. These special inspections are in addition to the other inspections listed in these Structural Notae or Deviced
<ol> <li>Formed grade beams 11/2" top, 2" sides, 3" bottom</li> <li>Slab-on-grade 1 1/2" top         <ol> <li>a. "Exterior Exposure" refers to concrete exposed to earth or weather.</li> </ol> </li> </ol>	<ol> <li>Acrylic: AT-XP (IAPMO-UES ER-0281), Simpson Strong-Tie Co., Inc.</li> <li>Acrylic: AC 100+Gold (ICC-ES ESR-3200), DEWALT</li> <li>In Ungrouted Concrete Masonry with mesh screen tube:</li> </ol>	Structural Notes or Project Specifications. B. Where structural load-bearing members and assemblies are shop fabricated, the Special Inspector shall verify that the fabricator maintains
<ol> <li>Submittal: Submit shop drawings for fabrication, bending, and placement of concrete reinforcement. Comply with ACI 315 "Details and Detailing of Concrete</li> </ol>	<ol> <li>Acrylic: HIT HY-270 (ICC-ES ESR-4143), Hilti, Inc.</li> <li>Acrylic: AC 100+Gold (ICC-ES ESR-4105), DEWALT</li> <li>Epoxy: SET-XP (IAPMO-UES ER-265), Simpson Strong-Tie Co., Inc.</li> </ol>	detailed fabrication and quality control procedures that provide a basis for inspection control of the workmanship and the fabricator's ability to conform to the Construction Documents and Referenced Standards, unless the fabricator is registered and approved to perform such work without special inspection.
Reinforcement". Do not reproduce the Structural Drawings for use as shop drawings.	<ul> <li>d. Threaded anchor rod shall be one of the following:</li> <li>1. Hilti adhesive: "HIT-Z-R" AISI type 316 stainless steel</li> <li>2. Simpson adhesive: 304 Stainless steel meeting the requirements of</li> </ul>	C. Job site visits by the structural engineer do not constitute and are not a substitute for special inspections.
	ASTM A193, grade B8. 3. DEWALT adhesive: 304 Stainless steel meeting the requirements of	D. Architectural, mechanical, and electrical components requiring special inspections and testing per the building code are not listed here. Refer to architectural, mechanical, and electrical drawings and specifications for requirements for these components.
<u>TOPPING SLAB OVER PRECAST CONCRETE FLOOR UNITS</u> A. Provide tooled control joints in topping slab located over the joints in the precast	<ul><li>ASTM A193, grade B8.</li><li>Anchor rod shall have a chamfered end on one end to accept a nut and washer; it may have a 45-degree chisel point on the other end.</li></ul>	E. Refer to the general notes and project specifications for additional inspection and testing requirements.
units. Sawcut joints are allowed only if made with a "Sof-Cut" brand concrete saw as soon as possible after the finishing operation (4 hours maximum). Tooled or sawcut control joints shall be 1/4 the thickness of the topping slab.	<ol> <li>Nuts and washers shall have a proof load strength at least as strong as anchor rod. Stainless steel nuts and washers shall be provided with stainless steel rods.</li> </ol>	SPECIAL INSPECTIONS AND TESTS SCHEDULED PER IBC 2021         SPECIAL       MATERIALS, SYSTEMS, COMPONENTS AND WORK REQUIRED TO         INSPECTION       HAVE SPECIAL INSPECTIONS AND/OR TEST BY THE SPECIAL         REFERENCED       IBC REFRENCE
B. Place topping slab to a uniform thickness of 2", following camber of precast units,	<ol> <li>Adhesive Rebar Dowelling:</li> <li>a. Adhesive dowels are not permitted to be substituted for cast-in dowels unless authorized in advance by JQ for each specific location.</li> </ol>	INSPECTOR       INSPECTOR RESPONSIBLE FOR EACH PORTION OF THE WORK       STANDARD       IBC REPRENCE         NO       STEEL CONSTRUCTION       1705.2         NO       1. Welding of Structural Steel       AISC 360-16 : Table N5.4       1705.2.1
unless noted otherwise on the Structural Drawings. C. Topping slabs over precast concrete units shall be placed to a nominal minimum	<ul> <li>Adhesive doweling systems in concrete shall have been tested and qualified in accordance with ACI 355.4 and ICC-ES AC 308. Qualifying anchors shall be one of the following products, unless specifically noted otherwise on</li> </ul>	NO       2. Bolting of Structural Steel       AISC 360-16 : Table N5.6       1705.2.1         NO       3. Steel Construction Other Than Structural Steel (Metal Deck)       SDI QA/QC - 2017       1705.2.2
thickness of 2" at supports and finished to provide a level floor within the specified tolerances. Topping thickness may vary away from supports due to deflections of the precast concrete units, deflections of the supporting beams and girders, and	structural drawings: 1. Epoxy: HIT-RE 500V3 SAFESET (ICC-ES ESR-3814), Hilti Inc. 2. Epoxy: SET-3G (ICC-ES ESR-4057), Simpson Strong-Tie Co., Inc.	NO         5.         Composite Construction Prior to Concrete Placement         AISC 360-16 : Table N6.1           YES         CONCRETE CONSTRUCTION - (Note 1)         1705.3
<ul><li>residual camber of precast units and supporting members.</li><li>D. Reinforce topping slab with minimum 4x4-W2.9xW2.9 welded wire mesh placed at</li></ul>	<ol> <li>Epoxy: Pure 110+ (ICC-ES ESR-3298), DEWALT</li> <li>Acrylic: HIT-HY 200 V3 SAFESET (-A/-R) (ICC-ES ESR-4878), Hilti, Inc.</li> <li>Acrylic: SET-XP (ICC-ES ESR-2508), Simpson Strong-Tie Co., Inc.</li> </ol>	NO         1. Welding of Reinforcing Bars         ACI 318-19 : Sect. 26.6.4         1705.3.1           YES         2. Material Testing         ACI 318-19 : Ch. 19 & 20         1705.3.2           NO         MASONRY CONSTRUCTION - (Note 1)         1705.4
mid-depth of slab unless shown otherwise in structural drawings. Mesh shall be supported on and tied to chairs.	<ul> <li>6. Acrylic: AC 200+ (ICC-ES ESR-4027), DEWALT</li> <li>C. Anchor and Dowel Installation Requirements</li> </ul>	NO1. Level 2 Verification and Inspection of Masonry ConstructionTMS 602-16 : Table 3 & 41705.4NO2. Level 3 Verification and Inspection of Masonry ConstructionTMS 602-16 : Table 3 & 41705.4NOWOOD CONSTRUCTION1705.5
E. Clean exposed reinforcing steel by oil-free abrasive blasting or high pressure water blasting. Verify that the reinforcing steel and concrete surface are free from dirt, oil, cement fines (slurry), or any material that may interfere with the bond of the	<ol> <li>Anchors and dowels of the size and embedment shown on the Drawings shall be installed in accordance with the Contract Documents, the manufacturer's recommendations, and the manufacturer's current evaluation (ICC-ES or</li> </ol>	NO1. High-Load Diaphragms1705.5.1NO2. Metal-Plate-Connected Wood Trusses1705.5.2NO3. Mass Timber Construction1705.5.3
concrete topping slab. F. Apply bonding agent to roughened surface of existing double tees and wire mesh.	<ul> <li>IAPMO-UES) report for the anchor. If conflicts exist between these referenced documents, the most stringent requirements shall govern.</li> <li>The Contractor shall locate all existing reinforcing steel and other embedded</li> </ul>	NOSOILS1705.6NODRIVEN DEEP FOUNDATIONS1705.7NOCAST-IN-PLACE DEEP FOUNDATIONS1705.8
Sika Armatec 110 Epocem or Equal, Comply with time limit installation and the manufacturer's written instructions.	items contained in the concrete using non-destructive methods and shall position anchor locations to avoid conflicts with existing embedded items. Anchor or	NOHELICAL PILE FOUNDATIONS1705.9NOSTRUCTURAL INTEGRITY OF DEEP FOUNDATION ELEMENTS1705.10NOFABRICATED ITEMS1705.11
	dowel locations can be adjusted by a maximum of 1 1/2" from detailed locations to avoid conflicts, but shall neither change arrangement nor move closer to a concrete edge.	NO         SPECIAL INSPECTIONS FOR WIND RESISTANCE         1705.12           NO         1. Structural Wood         1705.12.1           NO         2. Cold-Formed Steel Light-Frame Construction         1705.12.2
	<ol> <li>Based on field verified locations of reinforcing steel and embedded items, the Contractor shall create templates for each anchor group. Submit template dimensions for review prior to fabrication of connection plates.</li> </ol>	NO       3. Wind-Resisting Components       1705.12.3         NO       SPECIAL INSPECTIONS FOR SEISMIC RESISTANCE       1705.13         NO       1. Structural Steel       AISC 341-16 : Sect. J       1705.13.1
A. Polymer modified repair mortar shall be manufactured by the Sika Corporation. Comply with all handling, mixing, placing and curing requirements as specified by the Sika Corporation.	<ol> <li>Holes for anchors and dowels shall be drilled in a continuous operation using the drill-bit type and size recommended by the anchor manufacturer. Holes shall be drilled perpendicular to the concrete surface and shall not be enlarged or</li> </ol>	NO     a.     Seismic Force Resisting System     AISC 341-16 : Sect. J     1705.13.1.1       NO     b.     Structural Steel Elements     AISC 341-16 : Sect. J     1705.13.1.2       NO     2.     Structural Wood     1705.13.2
<ul> <li>B. Consult Sika representative if questions arise during the repair process about material installation procedures.</li> </ul>	redirected at any point along its length. Holes shall be drilled using a hammer drill, coring shall not be allowed, unless noted otherwise. 5. Oil free compressed air shall be used to blow out the holes unless one of the	NO     3. Cold-Formed Steel Light-Frame Construction     1705.13.3       NO     4. Designated Seismic System     1705.13.4
C. Chip out all loose and unsound concrete and as required to provide minimum application thickness. Surface preparation shall be in accordance with ICRI	approved systems noted below is utilized. Unapproved shop vacs, squeeze bulbs, etc. shall NOT be used. Refer to manufacturer's information for detailed cleaning instructions.	NO     1. Structural Steel     AISC 341-16 : Sect. J     1705.14.1       NO     DESIGN STRENGTH OF MATERIALS     1706
Guideline 310.2R-2013: "Selecting and Specifying Concrete Surface Preparation for Sealers, Coatings, and Polymer Overlays". Concrete surface profile shall be a minimum of CSP-5. Waterblast concrete surface. Mortar shall be applied to	<ul> <li>a. Hilti SAFESET system with Hilti Hollow Drill Bit and Vacuum System (VC150 or VC300) may be used to eliminate hole cleaning with adhesive anchors.</li> <li>b. Simpson Speed Clean DXS system may be used to eliminate manual hole</li> </ul>	<ol> <li>Post-Installed anchors and dowels shall be either (a.) visually inspected during installation, or (b.) load tested after installation as noted below:         <ul> <li>Visual inspections shall be performed during the installation by a Special Inspector certified by ACI as a "Post-Installed Concrete"</li> </ul> </li> </ol>
saturated surface dry (SSD) surface. D. Apply a scrub coat of repair mortar to existing concrete surface prior to placing the	cleaning with adhesive anchors. c. DEWALT Dust X system with hollow drill bit may be used to eliminate manual hole cleaning with adhesive anchors.	Anchor Installation Inspector". Submit a report to the licensed design professional and building official documenting that the work covered by the report has been performed and that the materials used and the installation procedures used conform with the approved construction documents and the Manufacturer's Printed Installation Instructions.
repair mortar mix. Repair mortar must be applied into wet scrub coat before it dries. E. Bonding agent (where called for) shall be Sika Armatec 110 Epocem bonding	<ol> <li>All abandoned holes shall be filled with non-metallic nonshrink grout capable of reaching a design compressive strength of 5,000 psi at 28 days.</li> <li>Holes in connection plates shall be no more than 1/16" larger than the anchor</li> </ol>	<ul> <li>b. Load Testing shall comply with the following:</li> <li>i. Test at least ten (10) percent of each type and diameter of post-installed anchors. If one or more anchors fail the test, all post-installed anchors of the same diameter and type installed the same day as the failed anchor shall be load tested at the</li> </ul>
agent. Apply prior to application of repair mortar. Comply with time between application of bonding agent and repair mortar requirements.	diameter for 3/4" diameter anchors or less and holes in connection plates shall be no more than 1/8" larger than the anchor diameter for 1" diameter anchors or larger; Unless specified otherwise by the manufacturer. If larger holes are	contractor's expense. If additional anchors fail, the engineer may require testing all anchors of the same diameter and type already installed at the contractor's expense. ii. Tension testing shall comply with ASTM E488
F. Clean exposed reinforcing steel by oil-free abrasive blasting or high pressure water blasting. Verify that the reinforcing steel and concrete surface are free from dirt, oil, cement fines (slurry), or any material that may interfere with the bond of the repair	required for erection purposes, Contractor shall notify Engineer such that a plate washer size can be provided. 8. At the time of anchor installation, concrete shall have a minimum compressive	<ul> <li>iii. Test post-installed anchors to 50 percent of ultimate tensile capacity of post-installed anchor.</li> <li>iv. Apply test loads with a calibrated hydraulic ram.</li> <li>v. Displacement of post-installed anchors shall not exceed D/10, where D is nominal diameter of anchor being tested.</li> </ul>
G. Coat exposed reinforcing steel with Sika Armatec 110 Epocem bonding agent in	strength of 2500 psi and an age of 21 days. 9. The following parameters were used in the determination of the bond stress for	<ul> <li>vi. Correct defective work by removing and replacing or correcting, as directed by engineer.</li> <li>vii. Contractor shall pay for all corrections, engineering, and additional testing associated with failed anchor tests.</li> <li>viii. Testing agency shall submit test results to contractor and engineer with 24 hours of completion of test.</li> </ul>
<ul> <li>A coordance with manufacturer's instructions.</li> <li>H. Repair mortar for horizontal surfaces (hand applied):</li> </ul>	adhesive anchors. Contractor shall notify JQ if any of these parameters are not met: a. Drilled hole condition: Dry	
<ol> <li>Repair mortar shall be Sika Sikatop 122 PLUS Polymer Modified Repair Mortar, or accepted equal.</li> <li>Application thickness:</li> </ol>	<ul> <li>b. No diamond core drilling</li> <li>c. Substrate temperature range at the time of installation and conditioned per manufacturer requirements:</li> </ul>	
a. Minimum: 1/4 inch b. Maximum in one lift: 1 inch	Concrete Anchors         Minimum (°F)         Maximum (°F)           Hilti HIT RE-500V3         23         104           HIT-HY 200 V3 (-A/-R)         14         104	
3. For installations greater than 1 inch and less than 4 inches in thickness, extend repair mortar with 3/8 inch coarse aggregate, not to exceed 42 lbs. per bag.	Simpson SET-3G         40         100           Simpson AT-XP         14         100           DEWALT Pure 110+         41         104	
<ol> <li>Repair mortar for vertical and overhead surfaces (hand-applied):</li> <li>Repair mortar shall be Sika SikaTop 123 PLUS Polymer Modified Repair</li> </ol>	DEWALT AC 200+23104Masonry AnchorsMinimum (°F)Maximum (°F)	
Mortar, or accepted equal. 2. Application thickness: a. Minimum: 1/4 inch b. Maximum in ana lift: 1 inch	Hilti HY-270       23       70         Simpson AT-XP       14       100         Simpson SET-XP       50       70	
b. Maximum in one lift: 1 inch	DEWALT AC 100+ 14 70 d. Maximum short term substrate temperature after installation = 130°F e. Maximum long term substrate temperature after installation = 110°F	
	<ul> <li>D. All post-installed anchors shall be installed by personnel trained by a manufacturer's field representative for each product to be used. A record of training shall be kept on</li> </ul>	
	site and be made available to the EOR as requested. E. For adhesive anchors installed in a horizontal orientation subject to sustained tension	
	<ul> <li>loading and all upwardly inclined (including soffit installations) orientation:</li> <li>Per ACI 318-14 (17.8.2.2): Installation shall be performed by personnel certified by ACI/CRSI "Adhesive Anchor Installer Certification Program." Certification shall</li> </ul>	

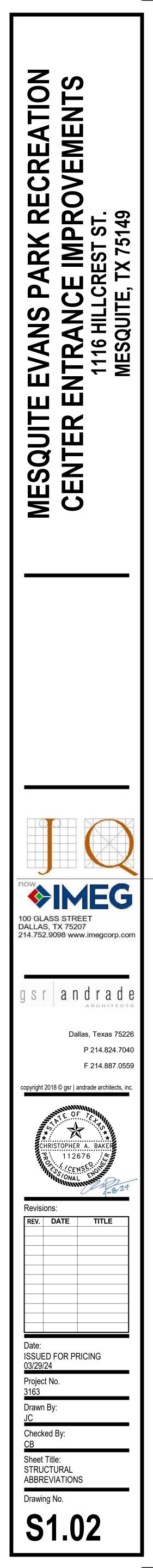
include written and performance tests.

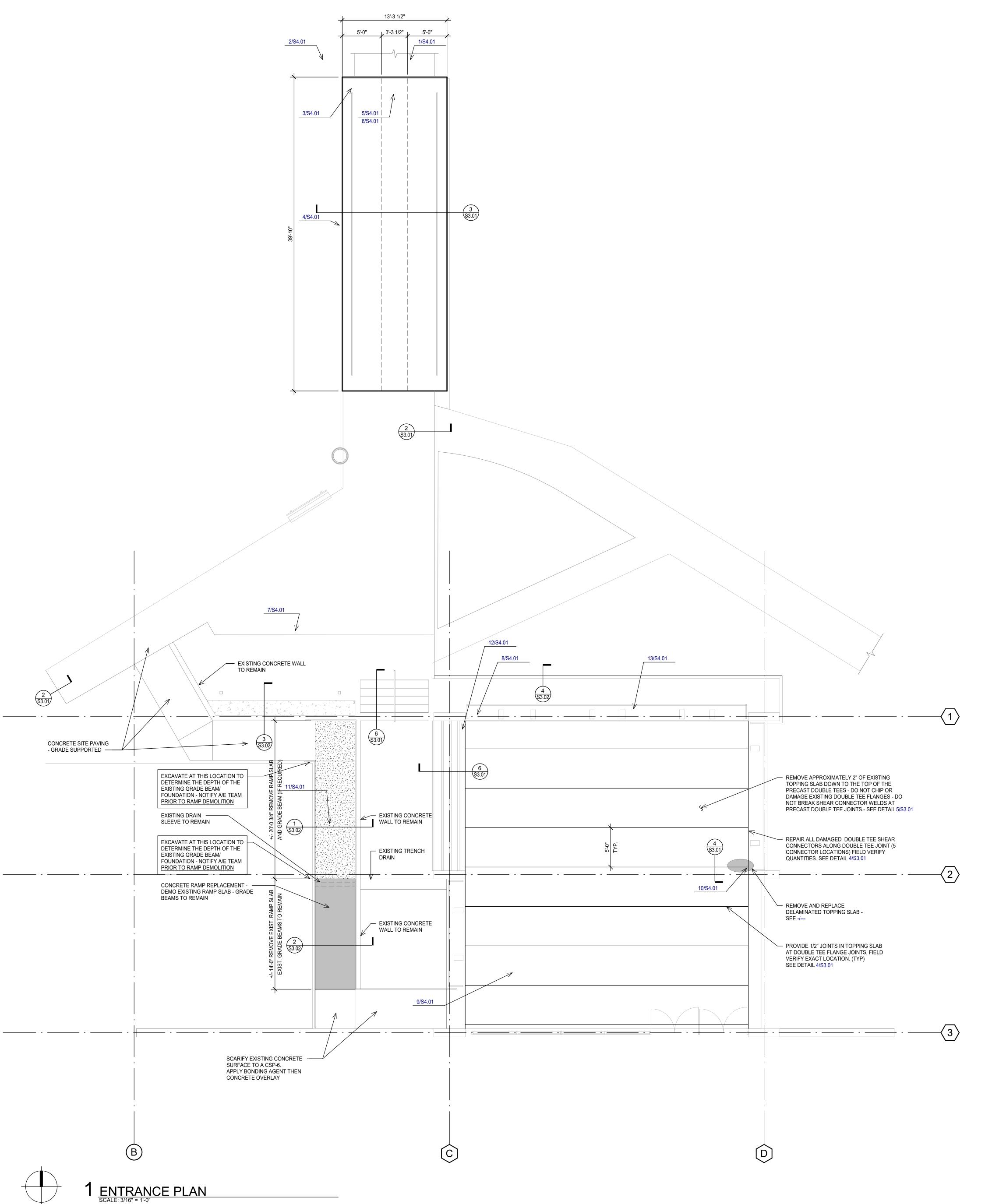


ABV.	-	ABOVE
A.F.F. ADDN'L.		ABOVE FINISHED FLOOR ADDITIONAL
ADH.	-	ADHESIVE
ADJ. AGGR.		ADJACENT AGGREGATE
A/C AHU		AIR CONDITIONER AIR HANDLING UNIT
ALT.		ALTERNATE
		ALUMINUM AMERICAN CONCRETE INSTITUTE
A.I.S.C.	-	AMERICAN INSTITUE OF STEEL CON
A.B. &		ANCHOR BOLT AND
L APPD.		ANGLE APPROVED
APPROX.	-	APPROXIMATE
		ARCHITECT ARCHITECTURAL
A.E.C.	-	ARCHITECTURALLY EXPOSED CONC
A.E.S.S. @		ARCHITECTURALLY EXPOSED STRUG
B.F.	_	BACK FACE
B. TO B.	-	BACK TO BACK
BSMT. BM.		BASEMENT BEAM
BRG. B.F.F.		BEARING BELOW FINISH FLOOR
BTWN.	-	BETWEEN
BEV('D) BLK.		BEVEL(ED) BLOCK
B.L.	-	BLOCK LINTEL
BLKG. BOT.		BLOCKING BOTTOM
B.O. B.O.S		BOTTOM OF BOTTOM OF STEEL
BRKT.	-	BRACKET
BR.L. BRDG.		BRICKLEDGE BRIDGING
BLDG.	-	BUILDING
С		CAMBER
C.I.P. CLG.		CAST-IN-PLACE CELING
C.L.		
C.G. C.G.S.		CENTER OF GRAVITY CENTER OF GRAVITY OR STRAND
CTR'D. CLR.		CENTERED CLEAR OR CLEARANCE
CFS	-	COLD FORMED STEEL
COL. C OR		COLUMN COMPRESSION
COMP. CONC.		CONCRETE
CMU	-	CONCRETE MASONRY UNIT
		CONCRETE SURFACE PROFILE CONNECTION(S)
CONST.	-	CONSTRUCTION CONSTRUCTION JOINT
CONST. JT. CONT.		CONTINUOUS
		CONTRACTOR CONTROL JOINT
COORD.	-	COORDINATE
COV. PL.	-	COVER PLATE
D.L. D.B.A.	-	DEAD LOAD DEFORMED BAR ANCHOR
D.	-	DEPTH
DTL. DIAG.		DETAIL DIAGONAL
DIA OR Ø	-	DIAMETER
DIM(S). DBL.	-	DIMENSION(S) DOUBLE
XX-STR DVTL.		DOUBLE EXTRA STRONG
DWL(S).	-	DOWEL(S)
DS.	-	DOWN DOWNSPOUT
DWG(S).	-	DRAWING(S)
EA.		EACH
		EACH FACE EACH WAY
		EDGE OF DECK ELECTRICAL
		ELEVATION
		ELEVATOR EMBEDMENT
ENGR.	-	ENGINEER
		EQUAL EQUIPMENT
EF (E)	-	EXHAUST FAN EXIST.
EXIST.	-	EXISTING
E.J.		EXPANSION EXPANSION JOINT
EXT. X-STR	-	EXTERIOR EXTRA STRONG
		FABRICATOR FACE TO FACE
F.S.	-	FAR SIDE
FIN('D)	-	FIELD VERIFY FINISH(ED)
		FINISHED FLOOR FIREPROOF(ING)
FLG.	-	FLANGE
	-	FLOOR DRAIN
	-	FOOT (OR) FEET FOUNDATION
FRMG	-	FRAMING
F.P.	-	FULL PENETRATION
		GAGE OR GAUGE
GALV. G.C.		
	-	GALVANIZED GENERAL CONTRACTOR
GR.	-	GALVANIZED
GR. GR. BM.	-	GALVANIZED GENERAL CONTRACTOR GRADE GRADE BEAM
gr. gr. Bm. H.S.A. ht.	- - - -	GALVANIZED GENERAL CONTRACTOR GRADE GRADE BEAM HEADED STUD ANCHOR HEIGHT
gr. gr. Bm. H.S.A. ht. H.P.	- - - -	GALVANIZED GENERAL CONTRACTOR GRADE GRADE BEAM HEADED STUD ANCHOR
gr. gr. bm. h.s.a. ht. h.p. hss hk.		GALVANIZED GENERAL CONTRACTOR GRADE GRADE BEAM HEADED STUD ANCHOR HEIGHT HIGH POINT HOLLOW STRUCTURAL SECTION HOOK
gr. gr. Bm. H.S.A. ht. H.P. HSS HK. HORIZ.		GALVANIZED GENERAL CONTRACTOR GRADE GRADE BEAM HEADED STUD ANCHOR HEIGHT HIGH POINT HOLLOW STRUCTURAL SECTION
GR. GR. BM. H.S.A. HT. H.P. HSS HK. HORIZ. H.B.	· · · ·	GALVANIZED GENERAL CONTRACTOR GRADE GRADE BEAM HEADED STUD ANCHOR HEIGHT HIGH POINT HOLLOW STRUCTURAL SECTION HOOK HORIZONTAL
gr. gr. Bm. h.s.a. ht. h.p. hss hk. horiz. h.b. h.d.	· · · ·	GALVANIZED GENERAL CONTRACTOR GRADE GRADE BEAM HEADED STUD ANCHOR HEIGHT HIGH POINT HOLLOW STRUCTURAL SECTION HOOK HORIZONTAL HORIZONTAL BRACE HOT-DIP
GR. BM. GR. BM. H.S.A. HT. H.P. HSS HK. HORIZ. H.B. H.D. IN. INFO.	- - - - - - -	GALVANIZED GENERAL CONTRACTOR GRADE GRADE BEAM HEADED STUD ANCHOR HEIGHT HIGH POINT HOLLOW STRUCTURAL SECTION HOOK HORIZONTAL HORIZONTAL BRACE HOT-DIP
GR. BM. GR. BM. H.S.A. HT. H.P. HSS HK. HORIZ. H.B. H.D. IN. INFO. I.D. I.F.	· · · · · ·	GALVANIZED GENERAL CONTRACTOR GRADE GRADE BEAM HEADED STUD ANCHOR HEIGHT HIGH POINT HOLLOW STRUCTURAL SECTION HOOK HORIZONTAL HORIZONTAL BRACE HOT-DIP INCH INFORMATION INSIDE DIAMETER INSIDE FACE
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GR. BM. GR. BM. H.S.A. HT. H.P. HSS HK. HORIZ. H.B. H.D. IN. INFO. I.D. I.F. INT. INTERM. JT. J.G.		GALVANIZED GENERAL CONTRACTOR GRADE GRADE BEAM HEADED STUD ANCHOR HEIGHT HIGH POINT HOLLOW STRUCTURAL SECTION HOOK HORIZONTAL HORIZONTAL BRACE HOT-DIP INCH INFORMATION INSIDE DIAMETER INSIDE FACE INTERIOR INTERMEDIATE
GR. BM. GR. BM. H.S.A. HT. H.P. HSS HK. HORIZ. H.B. H.D. IN. INFO. I.D. I.F. INT. INTERM. JT.		GALVANIZED GENERAL CONTRACTOR GRADE GRADE BEAM HEADED STUD ANCHOR HEIGHT HIGH POINT HOLLOW STRUCTURAL SECTION HOOK HORIZONTAL HORIZONTAL BRACE HOT-DIP INCH INFORMATION INSIDE DIAMETER INSIDE FACE INTERIOR INTERMEDIATE
GR. BM. GR. BM. H.S.A. HT. H.P. HSS HK. HORIZ. H.B. H.D. IN. INFO. I.D. I.F. INTERM. J.T. J.G. JST(S)		GALVANIZED GENERAL CONTRACTOR GRADE GRADE BEAM HEADED STUD ANCHOR HEIGHT HIGH POINT HOLLOW STRUCTURAL SECTION HOOK HORIZONTAL BRACE HOT-DIP INCH INFORMATION INSIDE DIAMETER INSIDE FACE INTERIOR INTERMEDIATE JOINT JOIST GIRDER JOIST(S)
GR. BM. GR. BM. H.S.A. HT. H.P. HSS HK. HORIZ. H.B. H.D. IN. INFO. I.D. I.F. INT. INTERM. J.G. JST(S)		GALVANIZED GENERAL CONTRACTOR GRADE GRADE BEAM HEADED STUD ANCHOR HEIGHT HIGH POINT HOLLOW STRUCTURAL SECTION HOOK HORIZONTAL HORIZONTAL BRACE HOT-DIP INCH INFORMATION INSIDE DIAMETER INSIDE FACE INTERIOR INTERMEDIATE JOINT JOIST GIRDER JOIST (S)

## STRUCTURAL ABBREVIATIONS

	К	-	KIPS (1000 LBS)
	L. L.W.		LENGTH LIGHTWEIGHT
	L.W.C. L.L.	-	LIGHTWEIGHT CONCRETE
	LOC. LLH	-	LONG LEG HORIZONTAL
	LSH	-	LONG LEG VERTICAL LONG SIDE HORIZONTAL
	LSL	-	LONG SIDE VERTICAL LONG SLOTTED HOLE LONGITUDINAL
			LOW POINT
	MFR. MAS.	-	MANUFACTURE(R) MASONRY
	MAT. MAX.	-	MAXIMUM
SED CONCRETE SED STRUCTURAL STEEL	MEP	-	MECHANICAL MECHANICAL, ELECTRICAL, PLUMBING
	MTL. MEZZ. MID.	-	MEZZANINE
	MIN.	-	
			MOMENT MOMENT CONNECTION(S)
	N.F. NOM.		
	N.S.	-	NON-SHRINK NOT APPLICABLE
			NOT IN CONTRACT NOT TO SCALE
	NO. OR #		
		-	ON CENTER OPENING(S) OPPOSITE
	O.H.	-	OPPOSITE OPPOSITE HAND OUTSIDE DIAMATER
		-	OUTSIDE FACE OVER-SIZED HOLE
	Ρ		
TRAND	PAR.	-	
	PERP. PC. PL.	-	
	PT.	-	
	# OR LBS. PCF	-	POUNDS POUNDS PER CUBIC FOOT
T FILE	PSF	-	POUNDS PER LINEAR FOOT POUNDS PER SQUARE FOOT
	P.E.M.B.	-	POUNDS PER SQUARE INCH PRE-ENGINEERED METAL BUILDING PRECAST CONCRETE
	PREFAB.	-	PREFABRICATED PRELIMINARY
	P.T.	-	PRESSURE TREATED PROJECTION
	QTY.	-	QUANTITY
			RADIUS REINFORCE(ING)(ED)(MENT)
	RCP	-	REINFORCED CONCRETE PIPE REMAINDER
	REQ.	-	
	RIS.	-	RISER
		-	ROOF DRAIN
	R. I.U. RM. R O	-	ROOF TOP UNIT ROOM ROUGH OPENING
	RND.	-	ROUND
	SECT.	-	SCHEDULE(D) SECTION
	SHT.	-	SHEAR SHEET
	SSL SW SIM.	-	
	S.O.G. SPA.	-	SLAB ON GRADE SPACE
	SPEC(S) SPEC'D	-	SPECIFICATION(S) SPECIFIED
	SQ. S.F.	-	SQUARE SQUARE FOOT
	S.S. STD.	-	STAGGERED STAINLESS STEEL STANDARD
	STL.	-	STEEL STEEL JOIST INSTITUE
	STIFF STIRR.	-	STIFFENER STIRRUPS
		-	STRAIGHT STRUCTURAL STRUCTURE
	SUBCONTR.	-	SUBCONTRACTOR SUPPORT(S)
	TEMP.	-	TEMPERATURE
	T TERR.	-	TENSION TERRAZZO
	THK. THRD.	-	TERRAZZO THICK THREAD(ED)
		-	TONGUE AND GROOVE TOP AND BOTTOM TOP OF
	T.O.B. T.O.C.	-	TOP OF BEAM TOP OF CONCRETE
	T.O.F. T.O.J.	-	TOP OF FOOTING TOP OF JOIST
	T.O.P.C.	-	TOP OF PIER TOP OF PIER (PILE) CAP TOP OF STEEL
CTION	T.O.W.	-	TOP OF WALL TRANSVERSE
	TR. TYP.	-	TREAD
	U.N.O.	-	UNLESS NOTED OTHERWISE
	VERT. V.B.		VERTICAL VERTICAL BRACE
	WPFG.	-	WATERPROOFING
	WS. WT.	-	WATERSTOP WEIGHT
	W.		WELDED WIRE MESH WIDTH WIND LOAD
	W.L. WDW. W/	-	WIND LOAD WINDOW WITH
	W/O W.D.	-	WITHOUT WOOD
	W.P.	-	WORK POINT



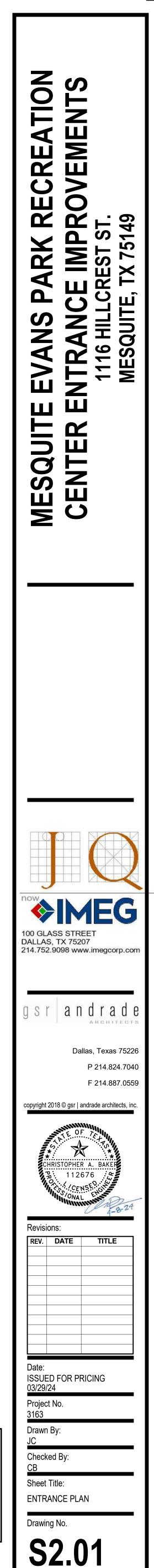


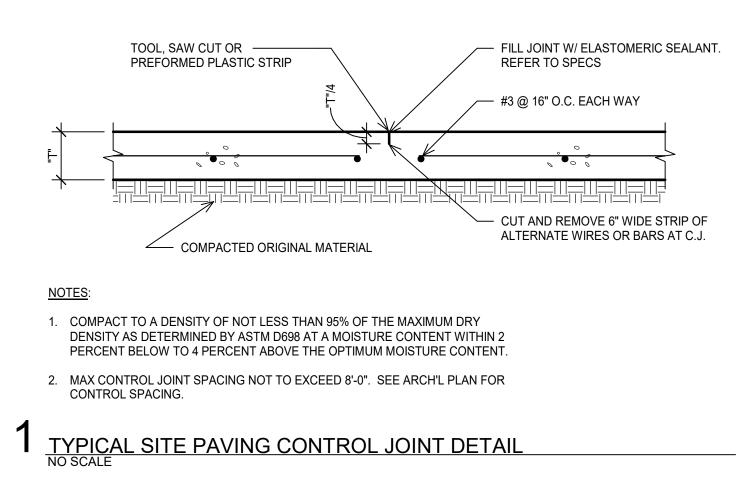


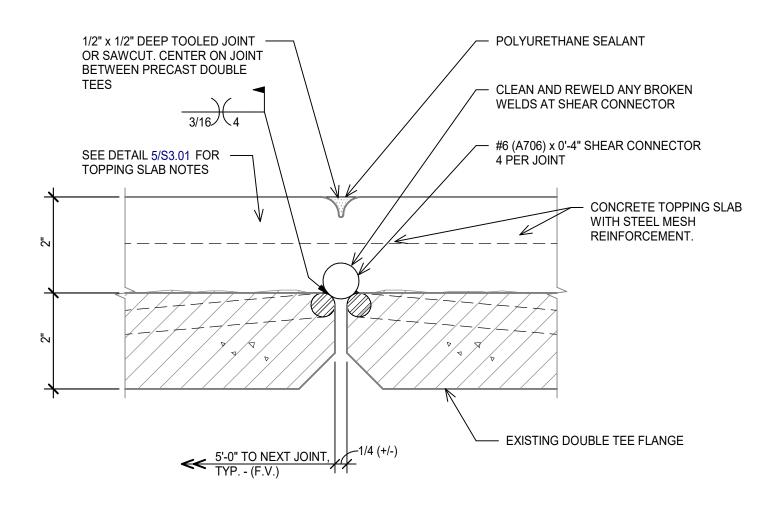


## JQ HAS ATTEMPTED BY VISUAL OBSERVATION AND STUDY OF ORIGINAL CONSTRUCTION DOCUMENTS TO DETERMINE EXISTING DIMENSIONS, THE CONDITION OF VARIOUS STRUCTURAL ELEMENTS AND EXISTING CONDITIONS. HOWEVER, AS SOME CONDITIONS CANNOT BE DETERMINED UNTIL AFTER DEMOLITION OF THE EXISTING BUILDING FINISHES, THE CONTRACTOR

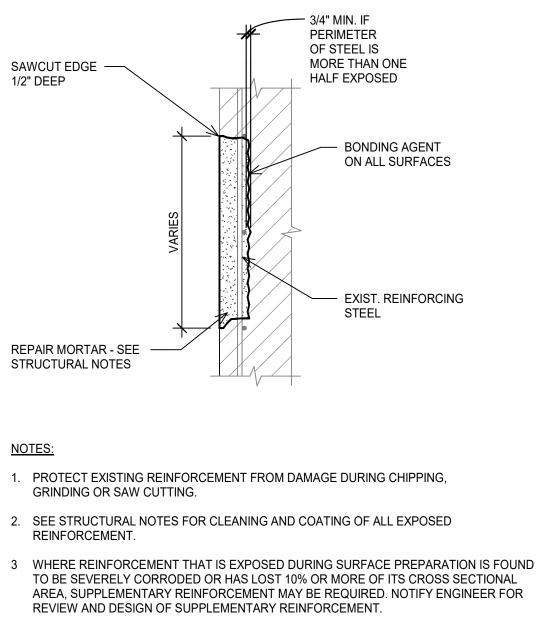
MUST CONSIDER AND ALLOW FOR THE FACT THAT DIMENSIONS, THE CONDITION OF STRUCTURAL ELEMENTS, AND DETAIL CONDITIONS MAY BE DIFFERENT FROM THOSE SHOWN ON THESE DRAWINGS. NOTIFY ENGINEER WHERE CONDITIONS ARE DIFFERENT FROM THOSE SHOWN ON THESE DRAWINGS.





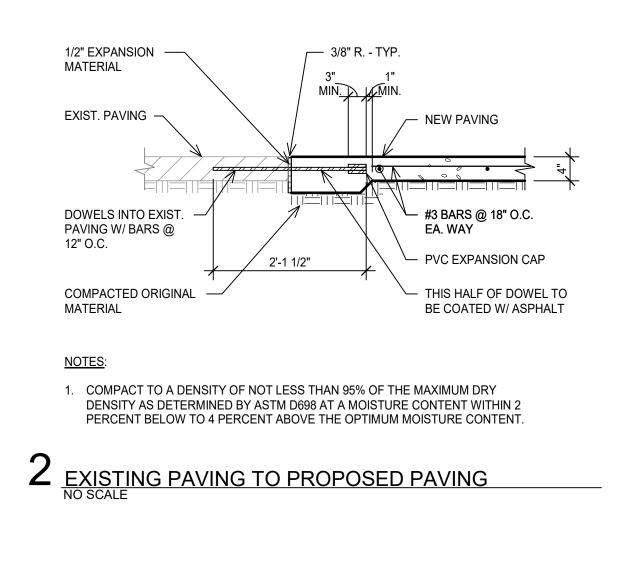


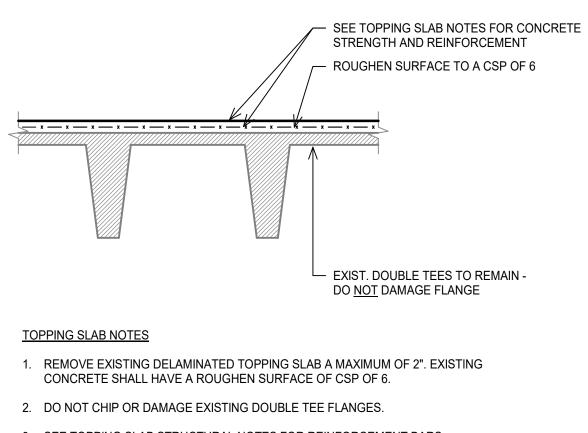
4 DOUBLE TEE TO DOUBLE TEE SHEAR CONNECTION REPAIR AND CONTROL JOINT



4. FINISH OF REPAIR MORTAR SHALL MATCH ADJACENT EXISTING CONCRETE.

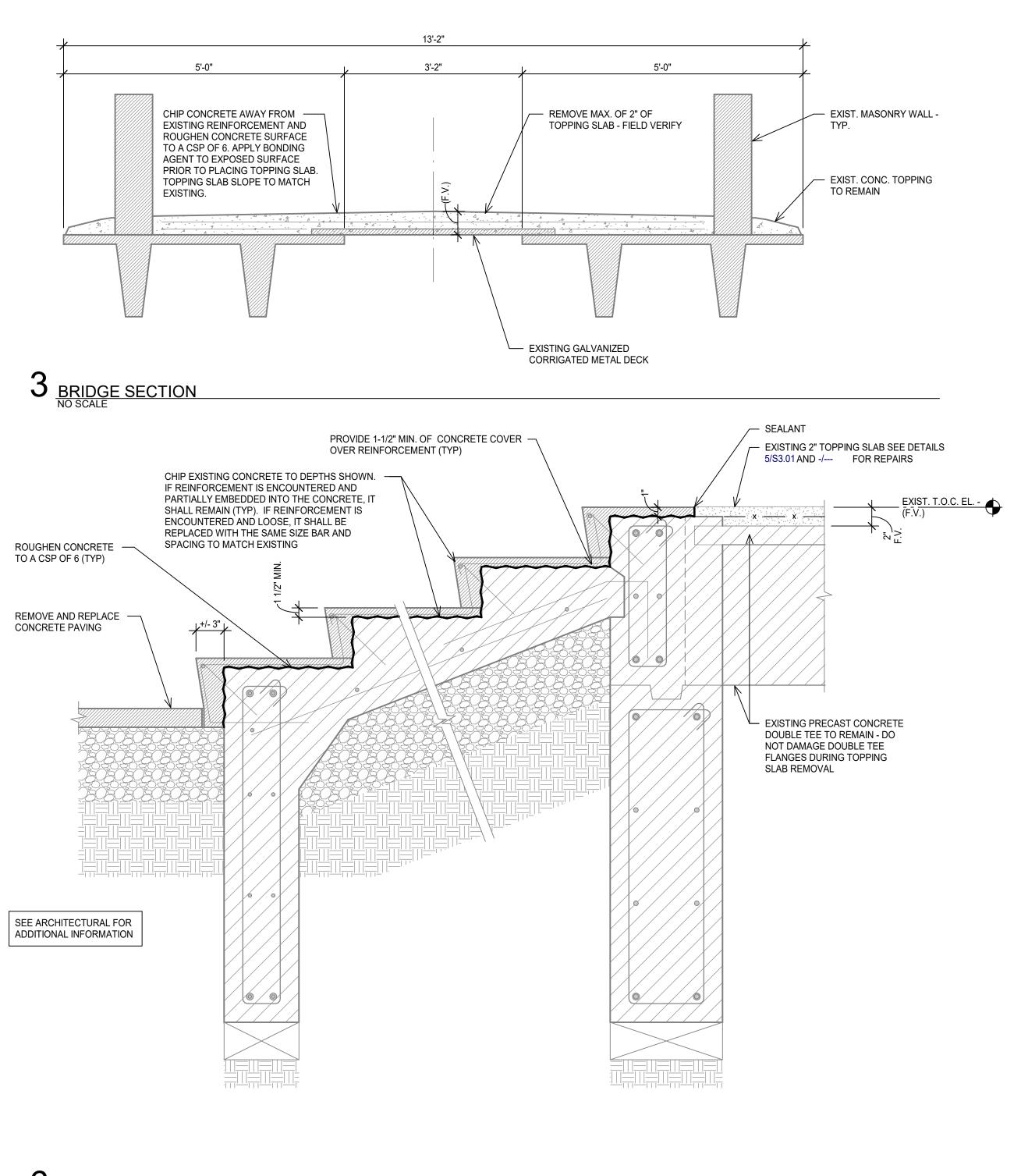
TYPICAL CONCRETE REPAIR AT VERTICAL SURFACES



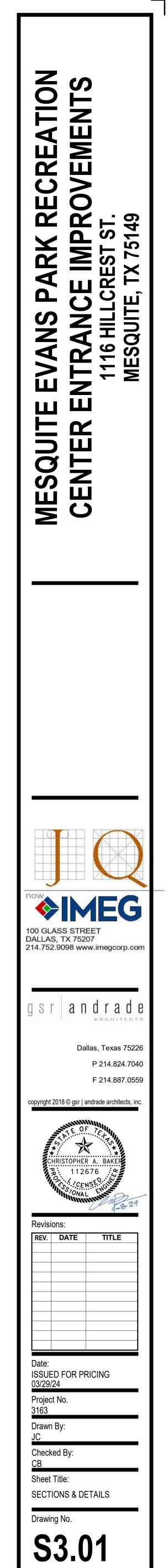


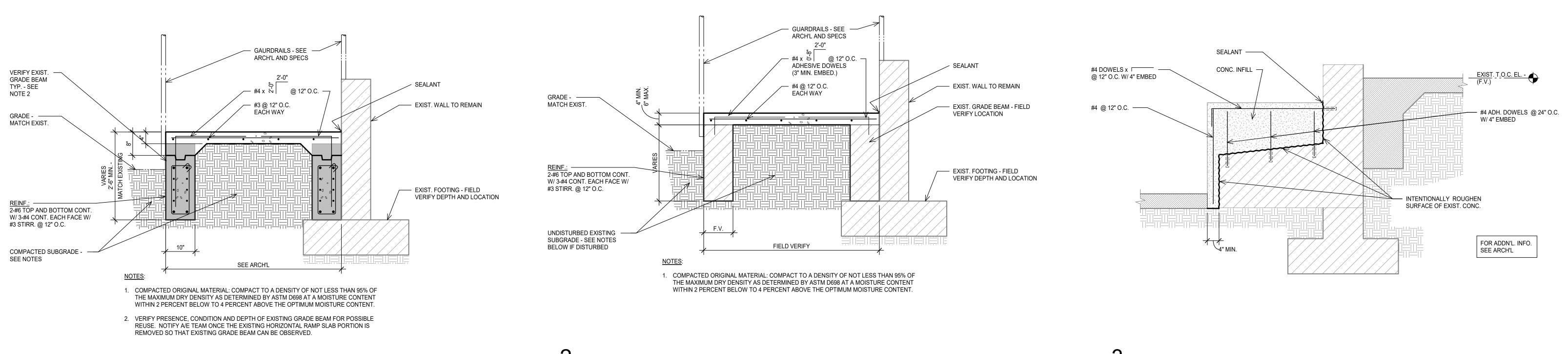
- 3. SEE TOPPING SLAB STRUCTURAL NOTES FOR REINFORCEMENT BARS.
- 4. REPAIR ANY BROKEN SHEAR CONNECTORS. SEE DETAIL 4/S3.01
- 5. APPLY BONDING AGENT TO EXISTING CONCRETE DOUBLE TEES AND ANY EXPOSED REINFORCEMENT / MESH.
- 6. PROVIDE A BROOM FINISH ON BRIDGE TOPPING SLAB

 $b_{\frac{\text{TOPPING SLAB RELACEMENT DETAIL}}{\text{NO SCALE}}}$ 

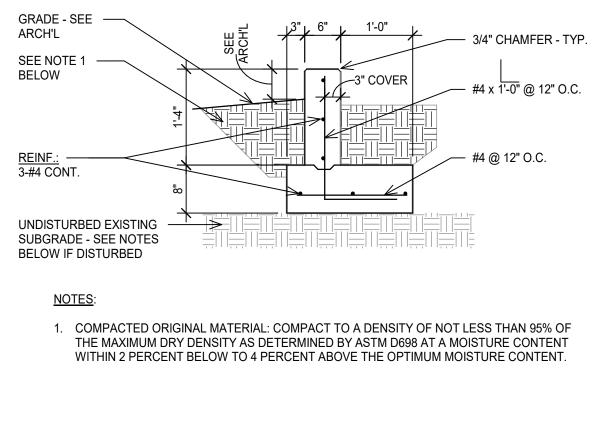


 $6_{\frac{\text{STAIR SECTION}}{\text{NO SCALE}}}$ 



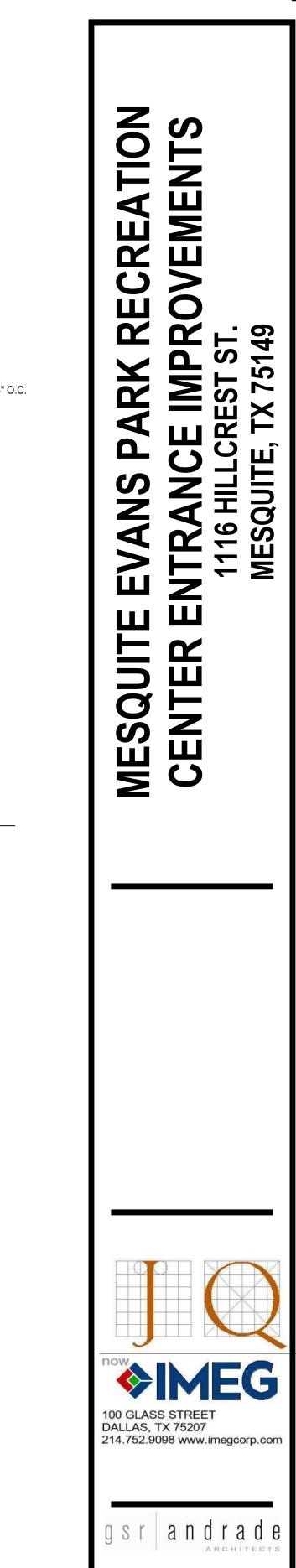


1 <u>NEW RAMP SECTION</u> SCALE: 3/4" = 1'-0"



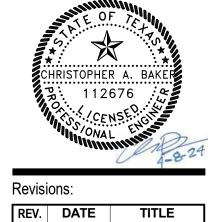
4 <u>CURB SECTION</u> SCALE: 3/4" = 1'-0" 2 RAMP SLAB REPLACEMENT SECTION SCALE: 3/4" = 1'-0"

## 3 <u>BIKE RACK REPAIR DETAIL</u> SCALE: 3/4" = 1'-0"



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Date: ISSUED FOR PRICING 03/29/24 Project No.

Drawn By: JC Checked By: CB

Sheet Title: SECTIONS AND DETAILS

Drawing No.





1 OVERVIEW LOOKING SOUTH



5 UNDERSIDE OF BRIDGE NORTH END







CONCRETE SPALLS, REPAIR WITH CONCRETE REPAIR MORTAR, FINISH AND COLOR TO MATCH EXISTING.

13 NORTH END OF ENTRANCE NO SCALE



 $2_{\frac{\text{BRIDGE OVER DRANAGE WAY}}{\text{NO SCALE}}}$ 

- CONCRETE TOPPING ON OUTSIDE EDGE OF BRIDGE TO REMAIN



 $3_{\frac{\text{UNDERSIDE OF BRIDGE DOUBLE TEE}}{\text{NO SCALE}}}$ 



6 DETERIORATED BRIDGE DECKING



7 EXISTING BIKE RACK AND PAVING



10 EXISTING ENTRANCE EAST SIDE

CRACKED AND DELAMINATED CONCRETE TOPPING. REMOVE AND REPLACE WITH CONCRETE REPAIR MORTAR FINISH TO MATCH EXISTING

EXISTING CRACK IN TOPPING -VERIFY IF DBL TEE SHEAR CONNECTORS HAVE BROKEN. SEE DETAIL 4/S3.01



11 EXISTING CONCRETE RAMP



## UNDERSIDE OF BRIDGE DOUBLE TEE



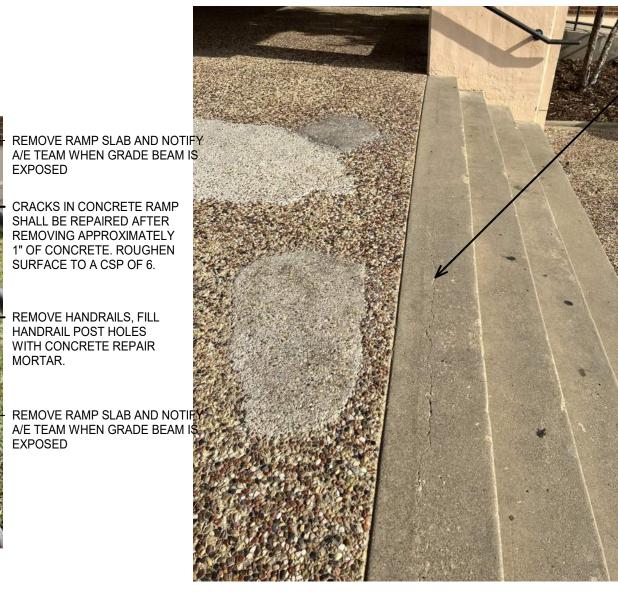
 $4_{\frac{\text{BRIDGE DOUBLE TEE}}{\text{NO SCALE}}}$ 



- EXISTING CONCRETE BIKE RACK, ROUGHEN CONCRETE SURFACE TO A CSP OF 6. ENCASE WITH CONCRETE -SEE DETAIL 3/S3.02



8 ENTRANCE DECK OVERHANG



REMOVE CRACKED AND SPALLING CONCRETE - SEE DETAIL 6/S3.01

- CRACKS IN CONCRETE RAMP SHALL BE REPAIRED AFTER REMOVING APPROXIMATELY 1" OF CONCRETE. ROUGHEN SURFACE TO A CSP OF 6.

REMOVE HANDRAILS, FILL HANDRAIL POST HOLES WITH CONCRETE REPAIR MORTAR.

REMOVE RAMP SLAB AND NOTIF A/E TEAM WHEN GRADE BEAM IS EXPOSED



# EXPOSED REINFORCEMENT, REMOVE CORROSION AND LOOSE OR DAMAGED CONCRETE. COAT REINFORCEMENT WITH RUST INHIBITOR. APPLY CONCRETE REPAIR MORTAR . SEE DETAIL 7/S3.01 AND STRUCTURAL NOTES S1.01.



