

MESQUITE EVANS PARK RECREATION CENTER

ENTRANCE IMPROVEMENTS

1116 HILLCREST ST. MESQUITE, TX 75149

ISSUED FOR PRICING
03/29/24



MESQUITE EVANS PARK RECREATION CENTER
ENTRANCE IMPROVEMENTS
1116 HILLCREST ST.
MESQUITE, TX 75149

PROJECT LOCATION MAP

PROJECT DESCRIPTION

CITY OF MESQUITE
EVANS RECREATION CENTER - ENTRANCE IMPROVEMENTS
1116 HILLCREST STREET
MESQUITE, TX 75149
PUBLIC USE RECREATION
5,600 SQUARE FEET
EXTERIOR IMPROVEMENTS OF THE CITY OF MESQUITE'S EVANS PARK RECREATION CENTER INCLUDING THE PEDESTRIAN BRIDGE AND ENTRANCE PAVILION IMPROVEMENTS INCLUDE NEW ADA COMPLIANT RAMP AND REPLACEMENT OF EXISTING EXPOSED AGGREGATE CONCRETE FINISHES AT THE BUILDING ENTRANCE AND SURROUNDING AREA

APPLICABLE CODES

CITY OF MESQUITE, TEXAS
2018 INTERNATIONAL BUILDING CODE (IBC) WITH AMENDMENTS
2018 INTERNATIONAL FIRE CODE (IFC) WITH AMENDMENTS
2018 INTERNATIONAL ENERGY CONSERVATIONS CODE (IECC) WITH AMENDMENTS
2018 INTERNATIONAL FUEL GAS CODE (IFGC) WITH AMENDMENTS
2018 INTERNATIONAL MECHANICAL CODE (IMC) WITH AMENDMENTS
2018 INTERNATIONAL PLUMBING CODE (IPC) WITH AMENDMENTS
2017 NATIONAL ELECTRICAL CODE (NEC) WITH AMENDMENTS
2010 ADAAG (AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES)
2012 TEXAS ACCESSIBILITY STANDARDS (TAS)

STANDARD ABBREVIATIONS

AC	AIR CONDITIONING
ACoust	ACOUSTICAL
ACT	ACOUSTICAL CEILING TILE
ADD	ADDENDUM
ADDL	ADDITIONAL
ADJ	ADJACENT/ ADJUSTABLE
AFF	ABOVE FINISHED FLOOR
AHU	AIR HANDLING UNIT
ALT	ALTERNATE
ALUM	ALUMINUM
ANG	ANGLE
ANOD	ANODIZED
APPROX	APPROXIMATE
ARCH	ARCHITECT/ ARCHITECTURAL
AV	AUDIOVISUAL
BD	BOARD
BLDG	BUILDING
BLKG	BLOCKING
BM	BEAM BENCH MARK
BO	BOTTOM OF
BOC	BACK OF CURB
BR	BRONZE
BUR	BUILT-UP ROOF
CAB	CABINET
CFICI	CONTR FURNISHED CONTR INST
CFMF	COLD FORMED METAL FRAMING
CG	CORNER GUARD
CH	CEILING HEIGHT
CHV	CHANNEL
CP	CAST IN PLACE
CJ	CONTROL JOINT
CL	CENTER LINE
CLG	CEILING
CLR	CLEAR
CMU	CONCRETE MASONRY UNIT
CO	CASED OPENING/CLEAN OUT
COL	COLUMN
COMB	COMBINATION
CONC	CONCRETE
CONST	CONSTRUCTION
CONT	CONTINUOUS
CONTR	CONTRACTOR
COR	CORRIDOR
CPT	CARPET
CR	CARD READER
CT	CERAMIC TILE
DEG	DEGREE
DEPT	DEPARTMENT
DF	DRINKING FOUNTAIN
DIA	DIAMETER (Ø)
DIM	DIMENSION
DN	DOWN
DR	DOOR
DS	DOWN SPOUT
DTL	DETAIL
DW	DISHWASHER
DWG	DRAWING
EA	EACH
EJ	EXPANSION JOINT
EL	ELEVATION
ELEC	ELECTRIC (A)
ELEV	ELEVATOR
EOS	EDGE OF SLAB
EQ	EQUAL
EOF	ENGINEERED QUARTZ FAB
EQUIP	EQUIPMENT
EQUIV	EQUIVALENT
ESCAL	ESCALATOR
EW	EACH WAY
EWC	ELEC WATER COOLER
EXT	EXTERIOR
FC	FIBER CEMENT
FD	FLOOR DRAIN
FDC	FIRE DEPARTMENT CONNECTION
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER & CABINET
FH	FIRE HYDRANT
FHC	FIRE HOSE CABINET
FIN	FINISH
FL	FLASHING
FLR	FLOOR
POS	FACE OF STUD
FR	FIRE RESISTIVE
FRT	FIRE RESISTANCE TREATED
FT	FOOT (FEET)
FTG	FOOTING

STANDARD ABBREVIATIONS

FU	FURRI FURRING
OT	POINT
QT	QUARRY TILE
R	RISER/ RADIUS
RA	RETURN AIR
RAD	RADIUS
RD	ROOF DRAIN
RE	REFER/ REFERENCE
RECPT	RECEPTACLE
REF	REFRIGERATOR
REINF	REINFORCED
REQD	REQUIRED
REV	REVISED/ REVISION
RM	ROOM
RO	ROUGH OPENING
RS	ROUGH SAWN
RST	RESILIENT START TREAD
RSV	RIGID SHEET VINYL
RTU	ROOF TOP UNIT
SA	SUPPLY AIR
SAC	SUSP ACOUST CLG
SCHED	SCHEDULE
SOWD	SOLID CORE WOOD
SECT	SECTION
SHR	SHEET RUBBER
SHT	SHEET
ID	INSIDE DIAMETER
IG	INSULATED GLASS
IN	INCH
INST	INSTALL/ INSTALLATION
INSUL	INSULATION
INT	INTERIOR
J-BOX	JUNCTION BOX
JAN	JANITOR
JG	JAMB GUARD
JST	JOIST
JT	JOINT
KP	KEYPAD
LAM	LAMINATE
LAV	LAVATORY
LB	LOCAL BUILD (OR BY CONTR)
LF	LINEAR FEET
LL	LEAD LINED
LLH	LONG LEG HORZ
LLV	LONG LEG VERT
LVT	LIGHT
LVT	LUXURY VINYL TILE
MACH	MACHINE
MAINT	MAINTENANCE
MAS	MASONRY
MAX	MAXIMUM
MCWD	MINERAL CORE WOOD
MDF	MEDIUM DENSITY FIBERBOARD
MECH	MECHANICAL
MEP	MECH/ELEC/PLBG
MFR	MANUFACTURER
MHO	MAGNETIC HOLD OPEN
MIN	MINIMUM
MISC	MISCELLANEOUS
MO	MASONRY OPENING
MSG	MFR STD GA
MTL	METAL
MTR	METER
NIC	NOT IN CONTRACT
NO	NUMBER
NOM	NOMINAL
NONCOM	NONCOMBUSTIBLE
NR	NOT RATED
NTS	NOT TO SCALE
OC	ON CENTER
OD	OUTSIDE DIA OVERFLOW DRAIN
OFICI	OWNER FURNISHED CONTR INST
OFIO	OWNER FURNISHED/ OWNER INST
OH	OPPOSITE HAND/OVERHEAD
OPNG	OPENING
PAN	PANTRY
PCT	PORCELAIN TILE
PLAM	PLASTIC LAMINATE
PLBG	PLUMBING
PLT	PLATE
PLYWD	PLYWOOD
PNL	PANEL
PNT	PAINT
PNTD	PAINTED
POL	POLISHED
PR	PAIR
PRE-FAB	PREFABRICATED
PROP	PROPERTY

STANDARD ABBREVIATIONS

PT	POINT
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PNTD	PAINTED
POL	POLISHED
PR	PAIR
PRE-FAB	PREFABRICATED
PROP	PROPERTY

GENERAL NOTES

- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION OF ANY ITEM SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED ALL PLANS AND ANY OTHER DOCUMENTATION FROM ALL OF THE PERMITTING AND ANY OTHER REGULATORY AUTHORITIES. FAILURE OF THE CONTRACTOR TO FOLLOW THIS PROCEDURE SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATION OF THE WORK MANDATED BY ANY REGULATORY AUTHORITY.
- CONTRACTOR WILL BE HELD TO HAVE STUDIED THE DRAWINGS, TO HAVE VISITED THE SITE, AND TO HAVE SATISFIED HIMSELF REGARDING ALL EXISTING CONDITIONS UNDER WHICH HE WILL BE OBLIGED TO OPERATE.
- THESE CONTRACT DOCUMENTS ARE ABBREVIATED IN CONTENT. THE CONTRACTOR AND SUBCONTRACTORS ARE RESPONSIBLE FOR REVIEWING AND UNDERSTANDING SCOPE, SITE VISITS, AND ANY VERIFICATION OF SCOPE, DETAILS, EXISTING CONDITIONS, ETC. PERTAINING TO SCOPE OF WORK SHOWN HERE. NO ADDITIONAL COST WILL BE ALLOWED FOR CONDITIONS NOT BROUGHT TO THE ATTENTION OF ARCHITECT.
- ALL WORK SHALL COMPLY WITH APPLICABLE STATE AND LOCAL CODES. ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY THE OWNER.
- CONTRACTOR SHALL NOT SCALE DRAWINGS.
- REFER TO PROJECT MANUAL FOR SPECIFICATIONS FOR PRODUCTS AND ASSEMBLY NOTES IN DRAWINGS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES OR DIFFERENCES. PRIOR TO PROCEEDING WITH WORK.
- CONTRACTOR SHALL INCLUDE ALL LABOR, MATERIALS, EQUIPMENT, FIXTURES AND SERVICE NECESSARY FOR THE PROPER EXECUTION OF THE WORK AS SHOWN ON THE PLANS.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF ALL UTILITIES WITHIN THE LIMITS OF THE WORK PRIOR TO THE START OF THE WORK. ALL DAMAGES MADE TO THE EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- ALL MATERIALS AND EQUIPMENT INCORPORATED IN THE WORK SHALL BE NEW AND ALL WORK SHALL BE OF GOOD QUALITY, FREE FROM FAULTS AND IN CONFORMANCE WITH THE PLANS.
- ALL WORK SHALL BE PERFORMED IN A FINISHED AND WORKMANLIKE MANNER TO THE ENTIRE SATISFACTION OF THE OWNER AND ARCHITECT AND IN ACCORDANCE WITH THE BEST RECOGNIZED TRADE PRACTICES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF EXIST AND NEW WORK. ANY WORK DAMAGE FOR ANY REASON SHALL BE REPLACED AT NO COST TO THE OWNER.
- PROVIDE AND INSTALL ALL NECESSARY PROTECTIVE DEVICES REQUIRED TO PROTECT ANY OWNER FURNISHED EQUIPMENT INSTALLED PRIOR TO THE COMPLETION OF THE WORK.
- CONTRACTOR TO PROVIDE ELEC POWER IN ACCORDANCE WITH REQUIREMENTS OF THE INDICATED ELEC CODE AND LOCAL GOVERNING CODES.
- CONTRACTOR SHALL SUPERVISE THE WORK AND COORDINATE ALL PORTIONS THEREOF.
- CONTRACTOR SHALL KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY HIS OPERATIONS. AT THE COMPLETION OF THE WORK HE SHALL PERFORM A FINAL CLEAN-UP, INSIDE AND OUT, CLEAN ALL GLASS SURFACES AND LEAVE THE PROJECT AREA CLEAN.
- CONTRACTOR SHALL GUARANTEE FOR (1) YEAR THAT ALL OF THE WORK UNDER THE CONTRACT IS FREE FROM FAULTY MATERIALS, WATER-TIGHT AND LEAK-PROOF IN EVERY PARTICULAR AND FREE FROM IMPROPER WORKMANSHIP.

SHEET INDEX

SHEET #	SHEET NAME	ORIGINAL ISSUE DATE	CURRENT REVISION DATE	REVISION NAME
GENERAL				
GD.01	EXISTING PHOTOS	03/29/24		
DEMOLITION				
DA1.01	DEMOLITION SITE PLAN	03/29/24		
DA2.10	DEMOLITION FLOOR PLANS	03/29/24		
ARCHITECTURAL				
A0.01	2012 TAS ACCESSIBILITY GUIDELINES	03/29/24		
A1.00	SITE PLAN	03/29/24		
A1.10	RAMP PLAN, ELEVATION, AND DETAILS	03/29/24		
A1.20	SITE DETAILS	03/29/24		
A2.10	ANNOTATION FLOOR PLANS	03/29/24		
A2.50	ENLARGED FLOOR PLANS	03/29/24		
AA.10	EXTERIOR ELEVATIONS & SECTIONS	03/29/24		
AT1.00	3D PERSPECTIVES	03/29/24		
STRUCTURAL				
S1.01	STRUCTURAL NOTES	03/29/24		
S1.02	STRUCTURAL ABBREVIATIONS	03/29/24		
S2.01	ENTRANCE PLAN	03/29/24		
S3.01	SECTIONS AND DETAILS	03/29/24		
S3.02	SECTIONS AND DETAILS	03/29/24		
S4.01	PHOTOGRAPHS	03/29/24		

SYMBOL LEGEND

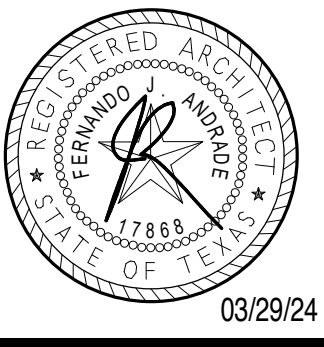
(XXX)	DOOR TAG	(X XXX)	REVISION CLOUD AND DELTA	(ROOM XXXX)	ROOM TAG	(X XXX)	DETAIL SECTION	(X XXX)	DETAIL CALLOUT	(CONCRETE)	WOOD	(GYPSUM / PLASTER)
(GL-XX)	GLAZING TYPE	(W22)	WINDOW TAG	(XXXXXX TA00)	RESTROOM ACCESSORY TAG	(X XXX)	WALL SECTION	(00 XXX XXX)	INTERIOR ELEVATION	(CMU)	METAL	(RIGID INSULATION)
(-XXX)	WALL TYPE	(BOX)	MILLWORK TAG	(?)	KEYNOTE TAG	(X XXX)	BUILDING SECTION	(X XXX)	EXTERIOR ELEVATION	(EARTH)	MASONRY VENEER	(BATT INSULATION)
(TH0300)	EQUIPMENT TAG	(X XXX)	INTERIOR ELEVATION	(X XXX)	EXTERIOR ELEVATION	(CONCRETE)	WOOD	(GYPSUM / PLASTER)	(CMU)	METAL	(RIGID INSULATION)	
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RFP# 2024-084

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Revisions:

REV.	DATE	TITLE

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Drawing No.

G0.00



EXISTING ENTRANCE CONSTRUCTION



EXISTING ENTRANCE CONSTRUCTION



EXISTING ENTRANCE CONSTRUCTION



EXISTING ENTRANCE CONSTRUCTION



EXISTING BRIDGE CONSTRUCTION



EXISTING BRIDGE CONSTRUCTION



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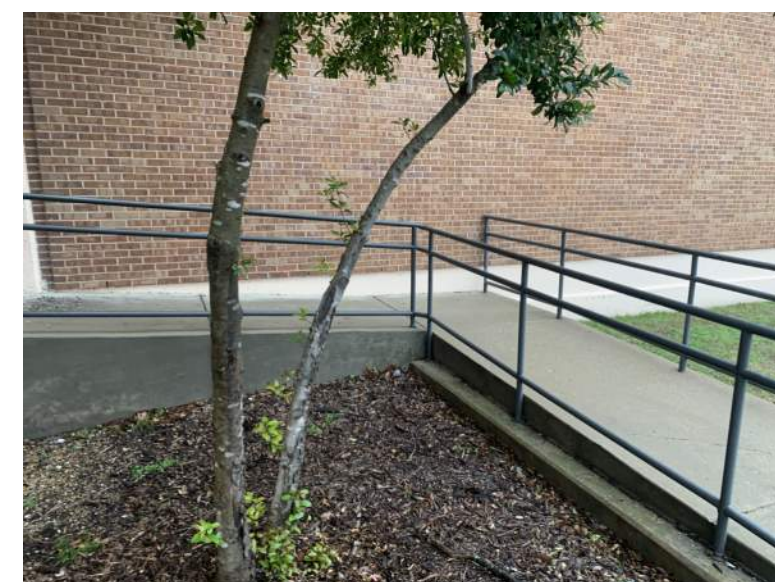
EXISTING ENTRANCE CONSTRUCTION



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Revisions:

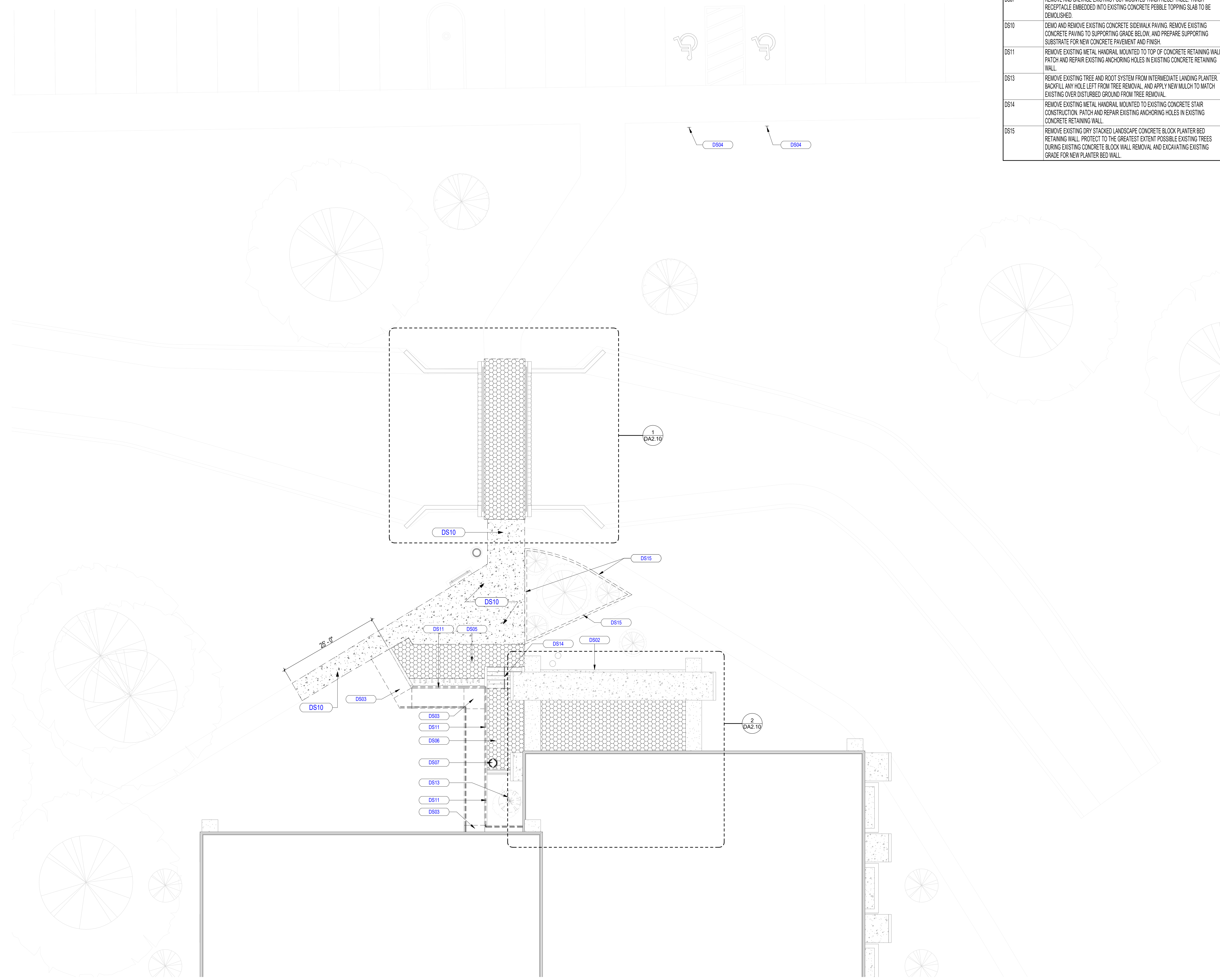
REV.	DATE	TITLE

Date:
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03/29/24
Project No.
3163
Drawn By:
KR
Checked By:
KR
Sheet Title:
EXISTING PHOTOS

Drawing No.
G0.01

KEYNOTE LEGEND PER SHEET	
NUMBER	DESCRIPTION
DS02	REMOVE EXISTING LANDSCAPE BORROW, AND LANDSCAPE FABRIC AT STONE GARDEN UNDER FOUNDATION OVERHANG ALONG NORTH SIDE OF REC CENTER ENTRANCE PAVILION.
DS03	REMOVE EXISTING CONCRETE RAMP AND STEEL RAILING.
DS04	REMOVE EXISTING HANDICAP SIGN, STEEL POST, AND CONCRETE SUPPORT.
DS05	DEMO AND REMOVE EXISTING CONCRETE PEBBLE TOPPING PAVING. REMOVE EXISTING CONCRETE TOPPING SLAB TO SUPPORTING GRADE BELOW, AND PREPARE SUPPORTING SUBSTRATE FOR NEW CONCRETE PAVING SLAB AND FINISH.
DS06	DEMO AND REMOVE EXISTING CONCRETE PEBBLE TOPPING SLAB. REMOVE EXISTING CONCRETE TOPPING SLAB TO SUPPORTING SUBSTRATE BELOW, AND PREPARE SUPPORTING SUBSTRATE FOR NEW CONCRETE TOPPING SLAB FINISH.
DS07	REMOVE AND SALVAGE EXISTING POST MOUNTED TRASH RECEPTACLE. TRASH RECEPTACLE EMBEDDED INTO EXISTING CONCRETE PEBBLE TOPPING SLAB TO BE DEMOLISHED.
DS10	DEMO AND REMOVE EXISTING CONCRETE SIDEWALK PAVING. REMOVE EXISTING CONCRETE PAVING TO SUPPORTING GRADE BELOW, AND PREPARE SUPPORTING SUBSTRATE FOR NEW CONCRETE PAVEMENT AND FINISH.
DS11	REMOVE EXISTING METAL HANDRAIL MOUNTED TO TOP OF CONCRETE RETAINING WALL. PATCH AND REPAIR EXISTING ANCHORING HOLES IN EXISTING CONCRETE RETAINING WALL.
DS13	REMOVE EXISTING TREE AND ROOT SYSTEM FROM INTERMEDIATE LANDING PLANTER. BACKFILL ANY HOLE LEFT FROM TREE REMOVAL, AND APPLY NEW MULCH TO MATCH EXISTING OVER DISTURBED GROUND FROM TREE REMOVAL.
DS14	REMOVE EXISTING METAL HANDRAIL MOUNTED TO EXISTING CONCRETE STAIR CONSTRUCTION. PATCH AND REPAIR EXISTING ANCHORING HOLES IN EXISTING CONCRETE RETAINING WALL.
DS15	REMOVE EXISTING DRY STACKED LANDSCAPE CONCRETE BLOCK PLANTER BED RETAINING WALL. PROTECT TO THE GREATEST EXTENT POSSIBLE EXISTING TREES DURING EXISTING CONCRETE BLOCK WALL REMOVAL AND EXCAVATING EXISTING GRADE FOR NEW PLANTER BED WALL.

- MINOR DEMOLITION NOTES (REMODELING)**
- 01- SEQUENCING
1 SEQUENCE ACTIVITIES
- 02 - SCHEDULING
1 SCHEDULE WORK TO COINCIDE WITH [NEW CONSTRUCTION.]
2 PERFORM [NOISY] [MALODOROUS] [DUSTY] OR WORK BETWEEN HOURS OF [] AND [].
- 03- PROJECT CONDITIONS
1 CONDUCT DEMOLITION TO MINIMIZE INTERFERENCE WITH ADJACENT (AND OCCUPIED) BUILDING AREAS.
2 CEASE OPERATIONS IMMEDIATELY WHEN STRUCTURE APPEARS TO BE IN DANGER AND NOTIFY ARCHITECT/ENGINEER. DO NOT RESUME OPERATIONS UNTIL DIRECTED.
- 04- PREPARATION
1 CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND COORDINATE ALL DEMOLITION WORK WITH EXISTING CONSTRUCTION PRIOR TO EXECUTION OF DEMOLITION.
2 CONFORM TO APPLICABLE BUILDING CODE FOR DEMOLITION WORK, DUST CONTROL, PRODUCTS REQUIRING ELECTRICAL DISCONNECTION AND RE-CONNECTION.
3 CONFORM TO APPLICABLE BUILDING CODE FOR PROCEDURES WHEN HAZARDOUS OR CONTAMINATED MATERIALS ARE DISCOVERED.
4 ERRECT, AND MAINTAIN TEMPORARY SAFEGUARDS, (INCLUDING WARNING SIGNS AND LIGHTS,) (BARRICADES,) [AND SIMILAR MEASURES,] FOR PROTECTION OF THE PUBLIC, OWNER, CONTRACTORS EMPLOYEES, AND EXISTING IMPROVEMENTS TO REMAIN.
5 ERRECT AND MAINTAIN WEATHERPROOF CLOSURES FOR EXTERIOR OPENINGS.
6 ERRECT AND MAINTAIN TEMPORARY PARTITIONS TO PREVENT SPREAD OF DUST, ODORS, AND NOISE TO PERMIT CONTINUED OWNER OCCUPANCY.
7 PROTECT EXISTING MATERIALS AND EXISTING [CONDITIONS] [IMPROVEMENTS] NOT INDICATED TO BE DEMOLISHED.
8 PREVENT MOVEMENT OF STRUCTURE. PROVIDE TEMPORARY BRACING AND SHORING REQUIRED TO ENSURE SAFETY OF EXISTING STRUCTURE.
9 NOTIFY AFFECTED UTILITY COMPANIES BEFORE STARTING WORK AND COMPLY WITH THEIR REQUIREMENTS.
10 MARK LOCATION AND TERMINATION OF UTILITIES.
11 COORDINATE WITH OWNER, DEMOLITION OF EXISTING UTILITIES THAT WILL AFFECT OWNER'S OPERATIONS ON SITE.
12 PROVIDE APPROPRIATE TEMPORARY SIGNAGE INCLUDING SIGNAGE FOR EXIT OR BUILDING EGRESS.
- 05- DEMOLITION REQUIREMENTS
1 DO NOT DISABLE OR DISRUPT BUILDING FIRE OR LIFE SAFETY SYSTEMS WITHOUT 3 DAYS PRIOR WRITTEN NOTICE TO OWNER.
2 DEMOLISH IN ORDERLY AND CAREFUL MANNER. PROTECT EXISTING CONSTRUCTION, FINISHES, AND EQUIPMENT.
3 REPAIR DAMAGE TO ANY EXISTING CONSTRUCTION, FINISHES, AND EQUIPMENT THAT MAY OCCUR AS RESULT OF DEMOLITION.
4 CEASE OPERATIONS IMMEDIATELY WHEN ADJACENT STRUCTURES APPEAR TO BE IN DANGER. NOTIFY ARCHITECT/ENGINEER. DO NOT RESUME OPERATIONS UNTIL DIRECTED.
5 CONDUCT OPERATIONS WITH MINIMUM INTERFERENCE TO PUBLIC OR PRIVATE ACCESSES. MAINTAIN PROTECTED EGRESS AND ACCESS FROM WITHIN EXISTING BUILDING AT ALL TIMES.
6 CONDUCT DEMOLITION TO MINIMIZE INTERFERENCE WITH ADJACENT OCCUPANCIES [OR] CONDUCT DEMOLITION TO MINIMIZE INTERFERENCE WITH ADJACENT (AND OCCUPIED) BUILDING AREAS.
7 OPENINGS WHICH ARE NOT COMPLETED AT THE END OF EACH DAY WILL NEED TO BE SECURED FOR THE EVENING AND/OR WEEKENDS AS REQUIRED BY MANAGEMENT AND THEIR SECURITY COMPONENT.
- 06- DEMOLITION
1 DISCONNECT [REMOVE] [CAP] AND IDENTIFY DESIGNATED UTILITIES WITHIN DEMOLITION AREAS.
2 REMOVE MATERIALS TO BE RE-INSTALLED OR RETAINED IN MANNER TO PREVENT DAMAGE. STORE AND PROTECT IN ACCORDANCE WITH REQUIREMENTS OF OWNER.
3 DEMOLISH IN ORDERLY AND CAREFUL MANNER. PROTECT EXISTING IMPROVEMENTS, (SUPPORTING STRUCTURAL MEMBERS) [AND] ...
4 REMOVE DEMOLISHED MATERIALS FROM SITE EXCEPT WHERE SPECIFICALLY NOTED OTHERWISE. DO NOT BURN OR BURY MATERIALS ON SITE.
5 REMOVE MATERIALS AS WORK PROGRESSES. UPON COMPLETION OF WORK, LEAVE AREAS IN CLEAN CONDITION.
6 CONTRACTOR SHALL PREPARE ALL EXISTING SUBSTRATES TO RECEIVE NEW FINISHES. AS INDICATED IN THE CONSTRUCTION DOCUMENTS.
7 WHERE DEMOLITION OF PORTIONS OF EXISTING MONUMENTAL SURFACES, OR FINISHES IS CALLED FOR, CONTRACTOR SHALL ESTABLISH BEGINNING POINT OF SUCH REMOVAL AT NEAREST LOGICAL CONSTRUCTION JOINT, MATERIAL CHANGE OR CORNER.
8 WHERE SUPPLEMENTAL ITEMS, SUCH AS MECH/EQUIPMENT PADS, WALL ANCHORS, HANGING APPARATUS, ETC. ARE NOT SPECIFICALLY CALLED OUT TO BE REMOVED, CONTRACTOR SHALL BE RESPONSIBLE FOR THEIR REMOVAL.
9 REFER TO FLOOR PLANS FOR DIMENSIONAL EXTENTS OF FINISH ITEM MATERIAL REMOVAL OR PARTIAL REMOVAL.
11 REMOVE EXISTING SUSPENDED ACOUSTICAL CEILING ASSEMBLY IN ITS ENTIRETY TO BOTTOM OF STRUCTURE THROUGHOUT THE ENTIRE BUILDING. (IN AREAS/ ROOMS AS INDICATED IN THE CONSTRUCTION DOCUMENTS.)
12 WHERE EXISTING UTILITIES ARE TO BE REMOVED, CAP BELOW FLOOR LEVEL, WITHIN WALLS, OR ABOVE CEILINGS. COORDINATE WITH MEP DOCUMENTS.
13 REMOVE ALL EXISTING HVAC EQUIPMENT, INCLUDING BUT NOT LIMITED TO DUCTWORK, DIFFUSERS, DAMPERS, GRILLES, AND HANGARS THROUGHOUT THE ENTIRE BUILDING. (IN AREAS/ ROOMS AS INDICATED IN THE CONSTRUCTION DOCUMENTS.)
14 REMOVE ALL EXISTING LIGHT FIXTURES, INCLUDING BUT NOT LIMITED TO FIXTURES, CONDUIT, WIRING, J-BOXES, AND CONTROLS THROUGHOUT THE ENTIRE BUILDING. (IN AREAS/ ROOMS AS INDICATED IN THE CONSTRUCTION DOCUMENTS.)
15 REMOVE ALL INTERIOR PARTITIONS INCLUDING, BUT NOT LIMITED TO GYPSUM BOARD, METAL STUDS, BASE, SIGNAGE, CONDUIT, WIRING, OUTLETS, THROUGHOUT THE ENTIRE BUILDING. (IN AREAS/ ROOMS AS INDICATED IN THE CONSTRUCTION DOCUMENTS.)
16 REMOVE ALL EXISTING PLUMBING FIXTURES AND [SAVE FOR REUSE] [SAVE FOR OWNER'S USE] DISPOSE OF.
17 REFER TO MEP DOCUMENTS FOR ADDITIONAL DEMOLITION REQUIREMENTS.
- 08- SALVAGE REQUIREMENTS
1 COORDINATE WITH OWNER TO IDENTIFY BUILDING COMPONENTS AND EQUIPMENT REQUIRED TO BE REMOVED AND DELIVERED TO OWNER.
2 TAG COMPONENTS AND EQUIPMENT OWNER DESIGNATES FOR SALVAGE.
3 PROTECT DESIGNATED SALVAGE ITEMS FROM DEMOLITION OPERATIONS UNTIL ITEMS CAN BE REMOVED.
4 CAREFULLY, REMOVE BUILDING COMPONENTS AND EQUIPMENT INDICATED TO BE SALVAGED.
5 REMOVE, STORE AND PROTECT THE FOLLOWING MATERIALS AND EQUIPMENT:
6 REMOVE THE FOLLOWING EQUIPMENT (AND MATERIALS) FOR OWNER'S RETENTION. DELIVER TO [LOCATION DESIGNATED BY ARCHITECT/ENGINEER]
7 OWNER WILL REMOVE THE FOLLOWING MATERIAL AND EQUIPMENT BEFORE START OF DEMOLITION
8 PROTECT THE FOLLOWING MATERIALS AND EQUIPMENT REMAINING.
9 DISASSEMBLE AS REQUIRED TO PERMIT REMOVAL FROM BUILDING.
10 PACKAGE SMALL AND LOOSE PARTS TO AVOID LOSS.
11 MARK EQUIPMENT AND PACKAGED PARTS TO PERMIT IDENTIFICATION AND CONSOLIDATION OF COMPONENTS OF EACH SALVAGED ITEM.
12 PREPARE ASSEMBLY INSTRUCTIONS CONSISTENT WITH DISASSEMBLED PARTS. PACKAGE ASSEMBLY INSTRUCTIONS IN PROTECTIVE ENVELOPE AND SECURELY ATTACH TO EACH DISASSEMBLED SALVAGED ITEM.
13 DELIVER SALVAGED ITEMS TO OWNER. OBTAIN SIGNED RECEIPT FROM OWNER.

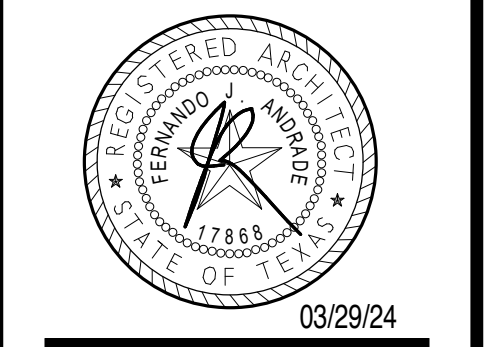


1 ARCHITECTURAL SITE DEMOLITION PLAN
1" = 10'-0"

**MESQUITE EVANS PARK RECREATION
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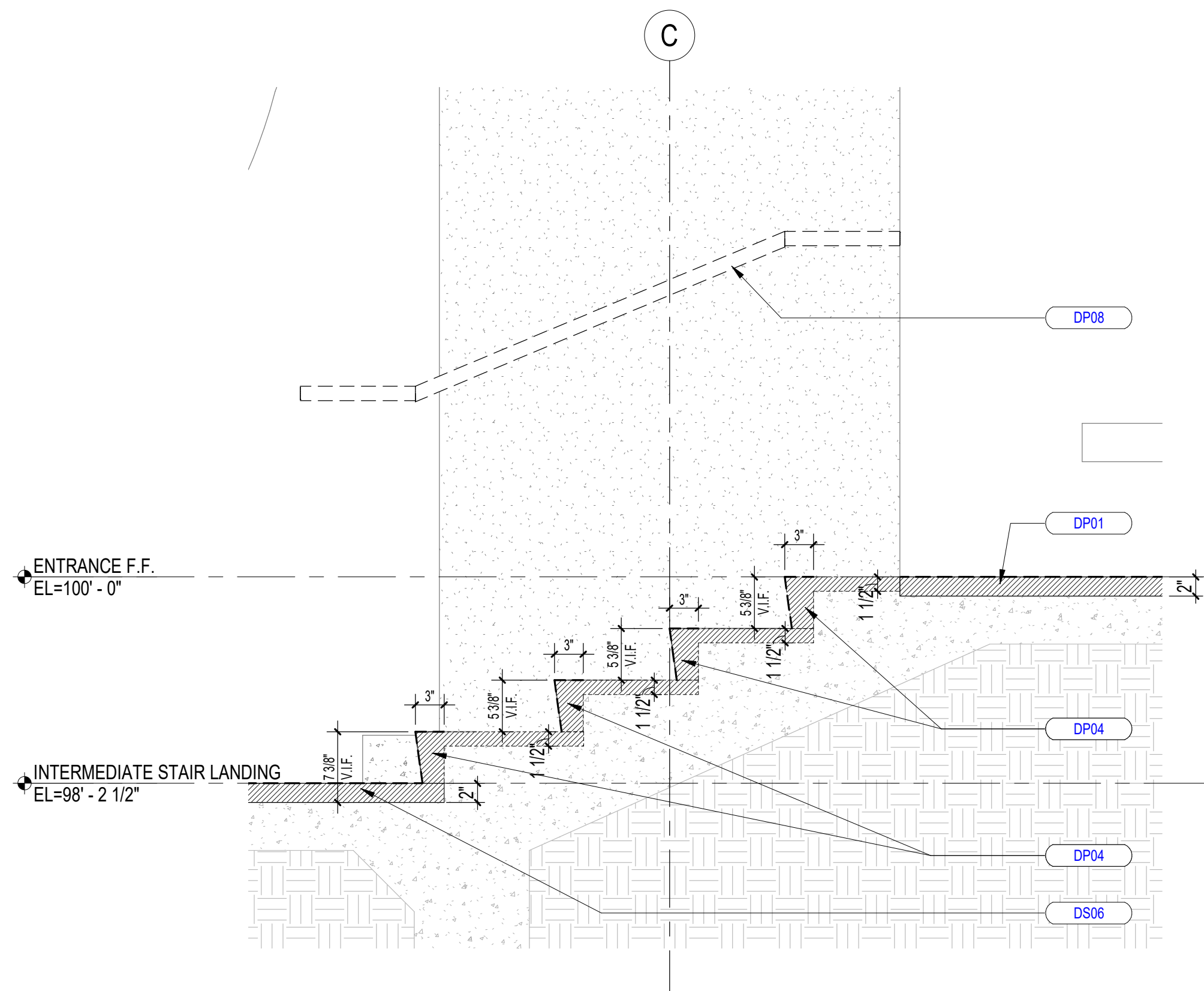


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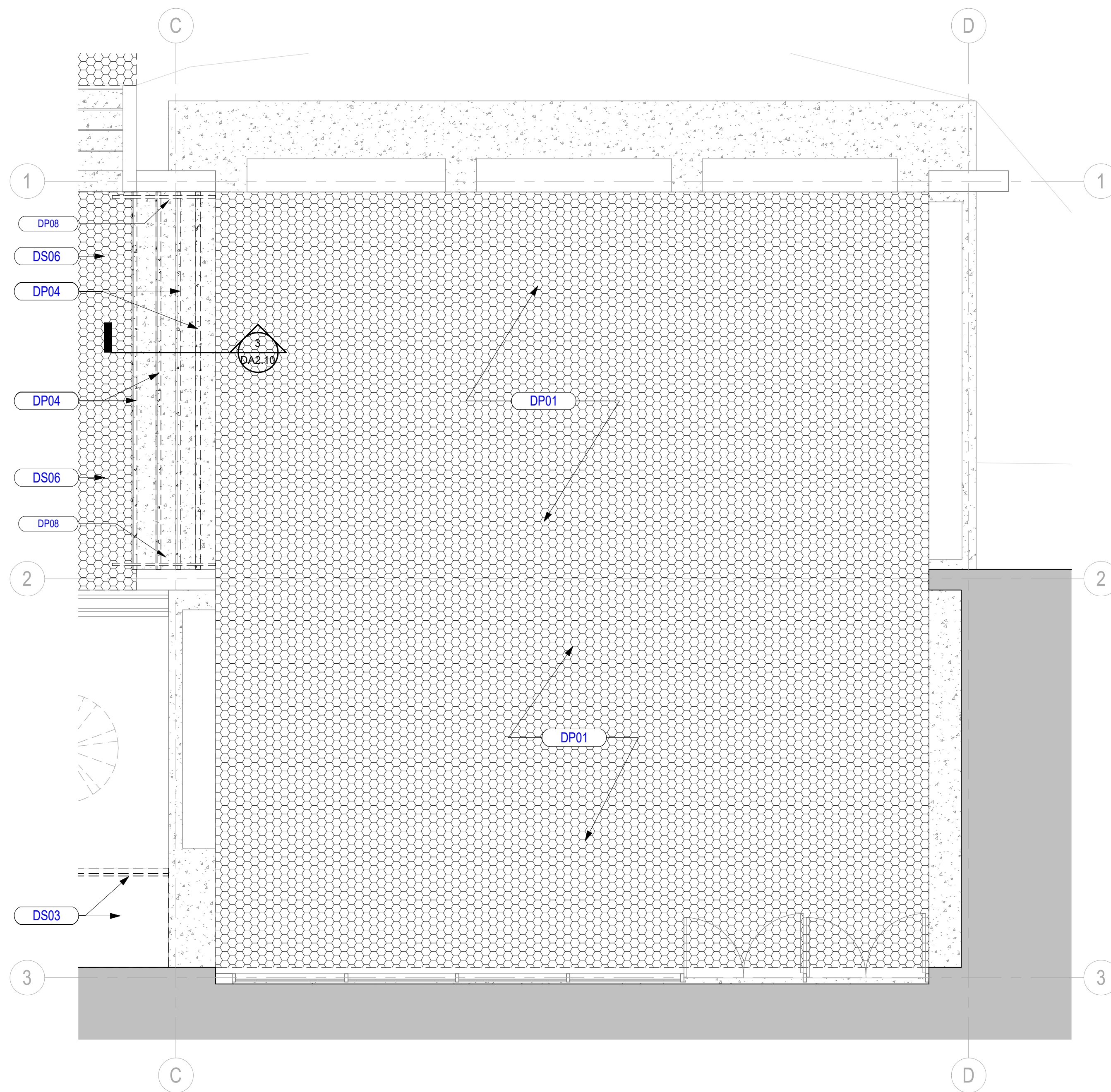
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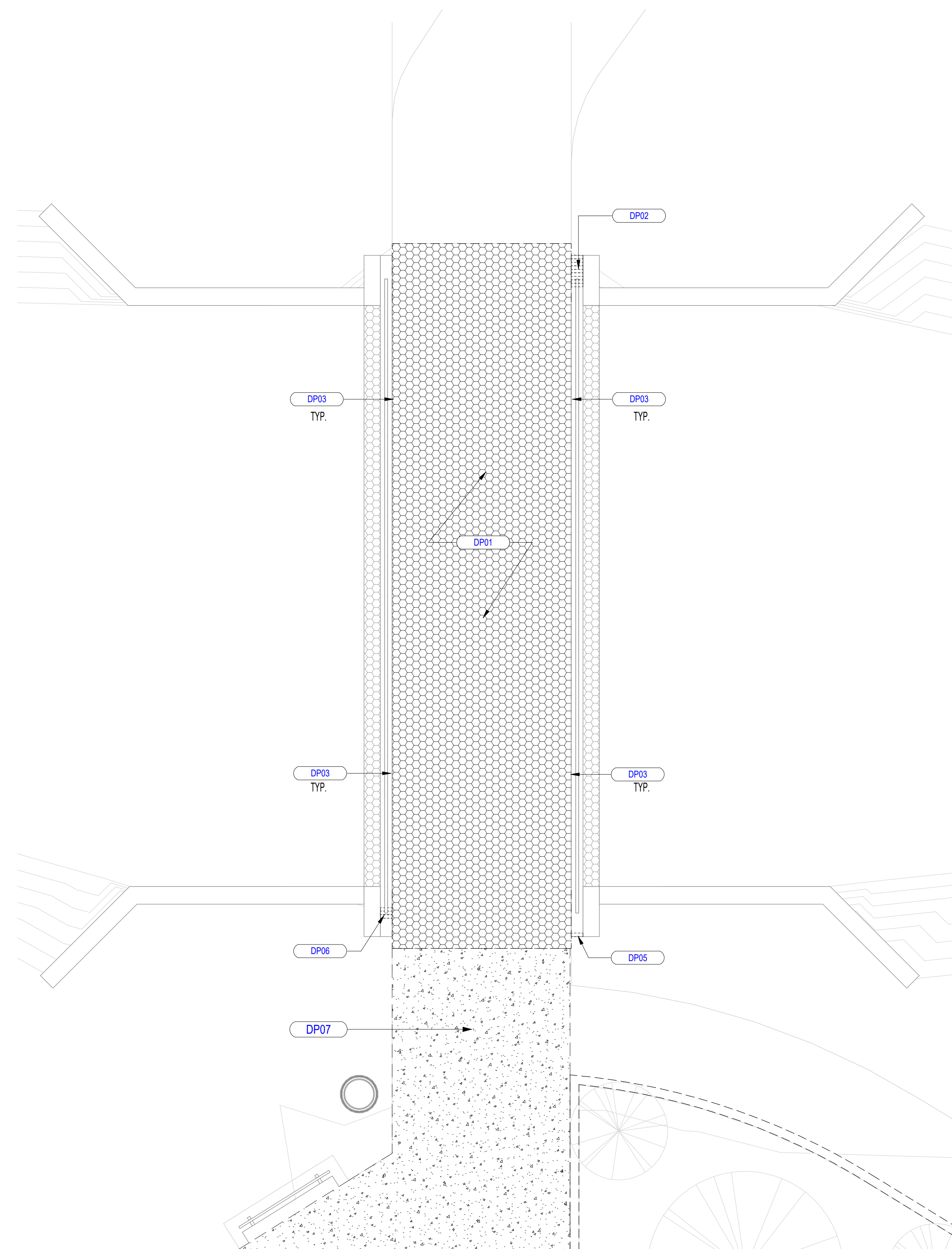
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3 DEMO WALL SECTION 1 - INTERMEDIATE STAIR TREADS
1" = 1'-0"



2 MESQUITE EVANS PARK REC CENTER ENTRANCE DEMOLITION PLAN
1/4" = 1'-0"



1 MESQUITE EVANS PARK REC CENTER BRIDGE DEMOLITION PLAN
1/4" = 1'-0"

KEYNOTE LEGEND PER SHEET	
NUMBER	DESCRIPTION
DP01	DEMO AND REMOVE EXISTING CONCRETE PEBBLE TOPPING SLAB. REMOVE EXISTING CONCRETE TOPPING SLAB TO SUPPORTING SUBSTRATE BELOW. AND PREPARE SUPPORTING SUBSTRATE FOR NEW CONCRETE TOPPING SLAB FINISH.
DP02	REMOVE AND SALVAGE FOR REUSE EXISTING BRICK. REMOVE FIRST TEN (10) EXISTING HEADER COURSE BRICKS FROM TOP OF EXISTING BRICK WALL. CLEAN ALL SALVAGED BRICKS FROM ALL LOOSE MORTAR FOR REUSE INTO REPAIR OF EXISTING BRICK WALL.
DP03	PROTECT AND KEEP CLEAR EXISTING WEEP HOLES LOCATED IN CONCRETE ACCENT WALL.
DP04	DEMO CHIPPED STAIR NOSINGS AND TREADS OF EACH CONCRETE STAIR TREAD. PREPARE REMAINING CONCRETE TREAD FOR NEW STAIR NOSING. REFER TO DEMOLITION SECTION.
DP05	REMOVE EXISTING BROKEN BRICK AT EXISTING SOLDIER COURSE BRICK MASONRY CONSTRUCTION FROM TOP OF EXISTING BRIDGE BRICK WALL. REMOVE AND CLEAN EMPTY BRICK COURSE OF ANY LOOSE AND/OR DAMAGED BRICK MORTAR FOR NEW BRICK INSTALLATION.
DP06	TEMPORARY REMOVE AND SALVAGE FOR REINSTALLATION EXISTING STEEL TUBE RAILING ANCHORS FROM BRICK WALL OF BRIDGE. REMOVE AND SALVAGE THREE EXISTING BRICK SOLDIER COURSES FROM EXISTING MASONRY CONSTRUCTION. REMOVE AND CLEAN EMPTY BRICK COURSE OF ANY LOOSE AND/OR DAMAGED BRICK MORTAR FOR NEW BRICK INSTALLATION. REPLACE EXISTING BROKEN BRICK TO MATCH EXISTING. AND SALVAGE AND CLEAN OTHER TWO COURSES FOR RE-MORTARING NEW AND SALVAGED BRICK TO MATCH EXISTING BACK INTO SOLDIER COURSE OF BRICK MASONRY CONSTRUCTION.
DP07	DEMO AND REMOVE EXISTING CONCRETE SIDEWALK PAVING. REMOVE EXISTING CONCRETE PAVING TO SUPPORTING GRADE BELOW. AND PREPARE SUPPORTING SUBSTRATE FOR NEW CONCRETE PAVEMENT AND FINISH.
DP08	REMOVE EXISTING METAL HANDRAIL MOUNTED TO SIDE OF STUCCO/CONCRETE COLUMN OF REC CENTER ENTRANCE PAVILION. PATCH AND REPAIR EXISTING ANCHORING HOLES. AND EXISTING STUCCO FINISH DAMAGED BY METAL HANDRAIL REMOVAL AND NEW HANDRAIL INSTALLATION.
DS03	REMOVE EXISTING CONCRETE RAMP AND STEEL RAILING
DS06	DEMO AND REMOVE EXISTING CONCRETE PEBBLE TOPPING SLAB. REMOVE EXISTING CONCRETE TOPPING SLAB TO SUPPORTING SUBSTRATE BELOW. AND PREPARE SUPPORTING SUBSTRATE FOR NEW CONCRETE TOPPING SLAB FINISH.

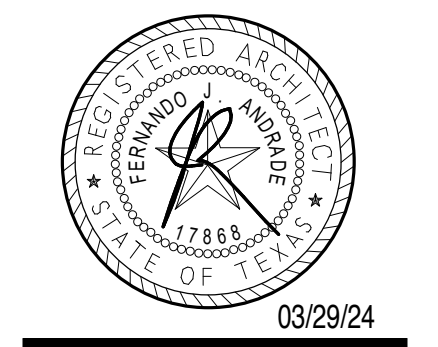
- MINOR DEMOLITION NOTES (REMODELING)**
- 01 - SEQUENCING
 - 1 SEQUENCE ACTIVITIES
 - 02 - SCHEDULING
 - 1 SCHEDULE WORK TO COINCIDE WITH [NEW CONSTRUCTION]
 - 2 PERFORM [NOISY] [MALODOROUS] [DUSTY] OR WORK BETWEEN HOURS OF [] AND []
 - 03 - PROJECT CONDITIONS
 - 1 CONDUCT DEMOLITION TO MINIMIZE INTERFERENCE WITH ADJACENT (AND OCCUPIED) BUILDING AREAS.
 - 2 CEASE OPERATIONS IMMEDIATELY WHEN STRUCTURE APPEARS TO BE IN DANGER AND NOTIFY ARCHITECT/ENGINEER. DO NOT RESUME OPERATIONS UNTIL DIRECTED.
 - 04 - PREPARATION
 - 1 CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND COORDINATE ALL DEMOLITION WORK WITH EXISTING CONSTRUCTION PRIOR TO EXECUTION OF DEMOLITION.
 - 2 CONFORM TO APPLICABLE BUILDING CODE FOR DEMOLITION WORK, DUST CONTROL, PRODUCTS REQUIRING ELECTRICAL DISCONNECTION AND RE-CONNECTION
 - 3 CONFORM TO APPLICABLE BUILDING CODE FOR PROCEDURES WHEN HAZARDOUS OR CONTAMINATED MATERIALS ARE DISCOVERED.
 - 4 ERECT, AND MAINTAIN TEMPORARY SAFEGUARDS, (INCLUDING WARNING SIGNS AND LIGHTS.) [BARRICADES] [AND SIMILAR MEASURES] FOR PROTECTION OF THE PUBLIC, OWNER, CONTRACTOR'S EMPLOYEES, AND EXISTING IMPROVEMENTS TO REMAIN.
 - 5 ERECT AND MAINTAIN WEATHERPROOF CLOSURES FOR EXTERIOR OPENINGS.
 - 6 ERECT AND MAINTAIN TEMPORARY PARTITIONS TO PREVENT SPREAD OF DUST, ODORS, AND NOISE TO PERMIT CONTINUED OWNER OCCUPANCY.
 - 7 PROTECT EXISTING MATERIALS AND EXISTING [CONDITIONS] [IMPROVEMENTS] NOT INDICATED TO BE DEMOLISHED.
 - 8 PREVENT MOVEMENT OF STRUCTURE. PROVIDE TEMPORARY BRACING AND SHORING REQUIRED TO ENSURE SAFETY OF EXISTING STRUCTURE.
 - 9 NOTIFY AFFECTED UTILITY COMPANIES BEFORE STARTING WORK AND COMPLY WITH THEIR REQUIREMENTS.
 - 10 MARK LOCATION AND TERMINATION OF UTILITIES
 - 11 COORDINATE WITH OWNER, DEMOLITION OF EXISTING UTILITIES THAT WILL AFFECT OWNER'S OPERATIONS ON SITE.
 - 12 PROVIDE APPROPRIATE TEMPORARY SIGNAGE INCLUDING SIGNAGE FOR EXIT OR BUILDING EGRESS.
 - 05 - DEMOLITION REQUIREMENTS
 - 1 DO NOT DISABLE OR DISRUPT BUILDING FIRE OR LIFE SAFETY SYSTEMS WITHOUT 3 DAYS PRIOR WRITTEN NOTICE TO OWNER.
 - 2 DEMOLISH IN ORDERLY AND CAREFUL MANNER. PROTECT EXISTING CONSTRUCTION, FINISHES, AND EQUIPMENT.
 - 3 REPAIR DAMAGE TO ANY EXISTING CONSTRUCTION, FINISHES, AND EQUIPMENT THAT MAY OCCUR AS RESULT OF DEMOLITION.
 - 4 CEASE OPERATIONS IMMEDIATELY WHEN ADJACENT STRUCTURES APPEAR TO BE IN DANGER. NOTIFY ARCHITECT/ENGINEER. DO NOT RESUME OPERATIONS UNTIL DIRECTED.
 - 5 CONDUCT OPERATIONS WITH MINIMUM INTERFERENCE TO PUBLIC OR PRIVATE ACCESSES. MAINTAIN PROTECTED EGRESS AND ACCESS FROM WITHIN EXISTING BUILDING AT ALL TIMES.
 - 6 CONDUCT DEMOLITION TO MINIMIZE INTERFERENCE WITH ADJACENT OCCUPANCIES [OR] CONDUCT DEMOLITION TO MINIMIZE INTERFERENCE WITH ADJACENT (AND OCCUPIED) BUILDING AREAS.
 - 7 OPENINGS WHICH ARE NOT COMPLETED AT THE END OF EACH DAY WILL NEED TO BE SECURED FOR THE EVENING AND/OR WEEKENDS AS REQUIRED BY MANAGEMENT AND THEIR SECURITY COMPONENT.
 - 06 - DEMOLITION
 - 1 DISCONNECT (REMOVE) [CAP] AND IDENTIFY DESIGNATED UTILITIES WITHIN DEMOLITION AREAS.
 - 2 REMOVE MATERIALS TO BE RE-INSTALLED OR RETAINED IN MANNER TO PREVENT DAMAGE. STORE AND PROTECT IN ACCORDANCE WITH REQUIREMENTS OF OWNER.
 - 3 DEMOLISH IN ORDERLY AND CAREFUL MANNER. PROTECT EXISTING IMPROVEMENTS, (SUPPORTING STRUCTURAL MEMBERS) [AND]
 - 4 REMOVE DEMOLISHED MATERIALS FROM SITE EXCEPT WHERE SPECIFICALLY NOTED OTHERWISE. DO NOT BURN OR BURY MATERIALS ON SITE.
 - 5 REMOVE MATERIALS AS WORK PROGRESSES. UPON COMPLETION OF WORK, LEAVE AREAS IN CLEAN CONDITION.
 - 6 CONTRACTOR SHALL PREPARE ALL EXISTING SUBSTRATES TO RECEIVE NEW FINISHES AS INDICATED IN THE CONSTRUCTION DOCUMENTS.
 - 7 WHERE DEMOLITION OF PORTIONS OF EXISTING MONUMENTAL SURFACES, OR FINISHES IS CALLED FOR, CONTRACTOR SHALL ESTABLISH BEGINNING POINT OF SUCH REMOVAL AT NEAREST LOGICAL CONSTRUCTION JOINT, MATERIAL CHANGE OR CORNER.
 - 8 WHERE SUPPLEMENTAL ITEMS, SUCH AS MECH/EQUIPMENT PADS, WALL ANCHORS, HANGING APPARATUS, ETC. ARE NOT SPECIFICALLY CALLED OUT TO BE REMOVED, CONTRACTOR SHALL BE RESPONSIBLE FOR THEIR REMOVAL.
 - 9 REFER TO FLOOR PLANS FOR DIMENSIONAL EXTENTS OF FINISH ITEM MATERIAL REMOVAL OR PARTIAL REMOVAL.
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 - 15 REMOVE ALL INTERIOR PARTITIONS INCLUDING, BUT NOT LIMITED TO GYPSUM BOARD, METAL STUDS, BASE, SIGNAGE, CONDUIT, WIRING, OUTLETS, AND CONTROLS, THROUGHOUT THE ENTIRE BUILDING. [IN AREAS/ ROOMS AS INDICATED IN THE CONSTRUCTION DOCUMENTS.]
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 - 12 PREPARE ASSEMBLY INSTRUCTIONS CONSISTENT WITH DISASSEMBLED PARTS. PACKAGE ASSEMBLY INSTRUCTIONS IN PROTECTIVE ENVELOPE AND SECURELY ATTACH TO EACH DISASSEMBLED SALVAGED ITEM.
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KR

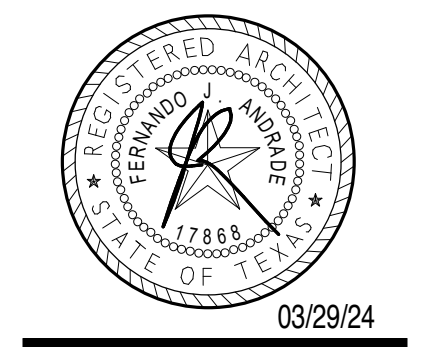
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Sheet Title:
DEMOLITION FLOOR PLANS

Drawing No.

DA2.10

2012 TEXAS ACCESSIBILITY STANDARDS		THE PROVIDED INFORMATION IS CONDENSED FROM THE TEXAS ACCESSIBILITY STANDARDS. IT SHALL SERVE AS CRITERIA FOR THE CONSTRUCTION OF ALL ACCESSIBLE ELEMENTS AND SPACES FOR THE HANDICAPPED. IN THE EVENT OF ANY CONFLICT BETWEEN THESE CRITERIA AND OTHER INFORMATION CONTAINED IN THE PROJECT DOCUMENTS, GS&R ARCHITECTS SHALL BE NOTIFIED IMMEDIATELY. THE COMPLETE VERSION OF THE TEXAS ACCESSIBILITY STANDARDS MAY BE DOWNLOADED AT THE TDR (TEXAS DEPARTMENT OF LICENSING AND REGULATION) WEBSITE.															
CHAPTER 3: BUILDING BLOCKS	302 FLOOR OR GROUND SURFACES	303 CHANGES IN LEVEL	304 TURNING SPACE	305 CLEAR FLOOR OR GROUND SPACE	306 KNEE AND TOE CLEARANCE	307 PROTRUDING OBJECTS	CHAPTER 4: ACCESSIBLE ROUTES	403 WALKING SURFACES	404 DOORS, DOORWAYS, AND GATES	404 DOORS, DOORWAYS, AND GATES CONT'D	405 RAMPS	406 CURB RAMPS	502 PARKING SPACES				
	308 REACH RANGES	308.1 UNOBSTRUCTED FORWARD REACH	308.2 OBSTRUCTED HIGH FORWARD REACH	308.3 UNOBSTRUCTED SIDE REACH	308.4 OBSTRUCTED HIGH SIDE REACH	403.1 CLEAR WIDTH OF AN ACCESSIBLE ROUTE		403.2 CLEAR WIDTH AT TURN	404.1 HINGED DOOR	404.2 SLIDING DOOR	404.3 FOLDING DOOR	404.4 FRONT APPROACH, PUSH SIDE	404.5 HINGE APPROACH, PULL SIDE	404.6 HINGE APPROACH, PUSH SIDE	404.7 LATCH APPROACH, PULL SIDE	404.8 LATCH APPROACH, PUSH SIDE	404.9 FRONT APPROACH
CHAPTER 9: BUILT-IN FURNISHINGS & EQUIPMENT	903 BENCHES	CHAPTER 5: GEN SITE & BLDG. ELEMENTS										503 PASSENGER LOADING ZONES	504 STAIRWAYS	505 HANDRAILS	602 DRINKING FOUNTAINS	609 GRAB BARS	703 SIGNS
	BENCH SIZE AND OPTIONS FOR CLEAR FLOOR SPACE	BENCH BACK SUPPORT AND SEAT HEIGHT	503.1 PASSENGER LOADING ZONE ACCESS AISLE	504.1 RADIUS OF TREAD EDGE	504.2 CURVED NOSING	504.3 ANGLED RISER	504.4 BEVELED NOSING	505.1 HORIZONTAL HANDRAIL CLEARANCE	505.2 HORIZONTAL HANDRAIL PROJECTIONS BELOW GRIPPING SURFACE	505.3 TOP AND BOTTOM HANDRAIL EXTENSION AT RAMPS	505.4 TREAD DEPTH	505.5 BOTTOM HANDRAIL EXTENSION AT STAIRS	602.1 DRINKING FOUNTAIN SPOUT LOCATION	609.1 4" PERIMETER	609.2 PROJECTING OBJECTS	609.3 RECESSED OBJECTS	703.1 HEIGHT OF TACTILE CHARACTERS ABOVE FINISH FLOOR OR GROUND

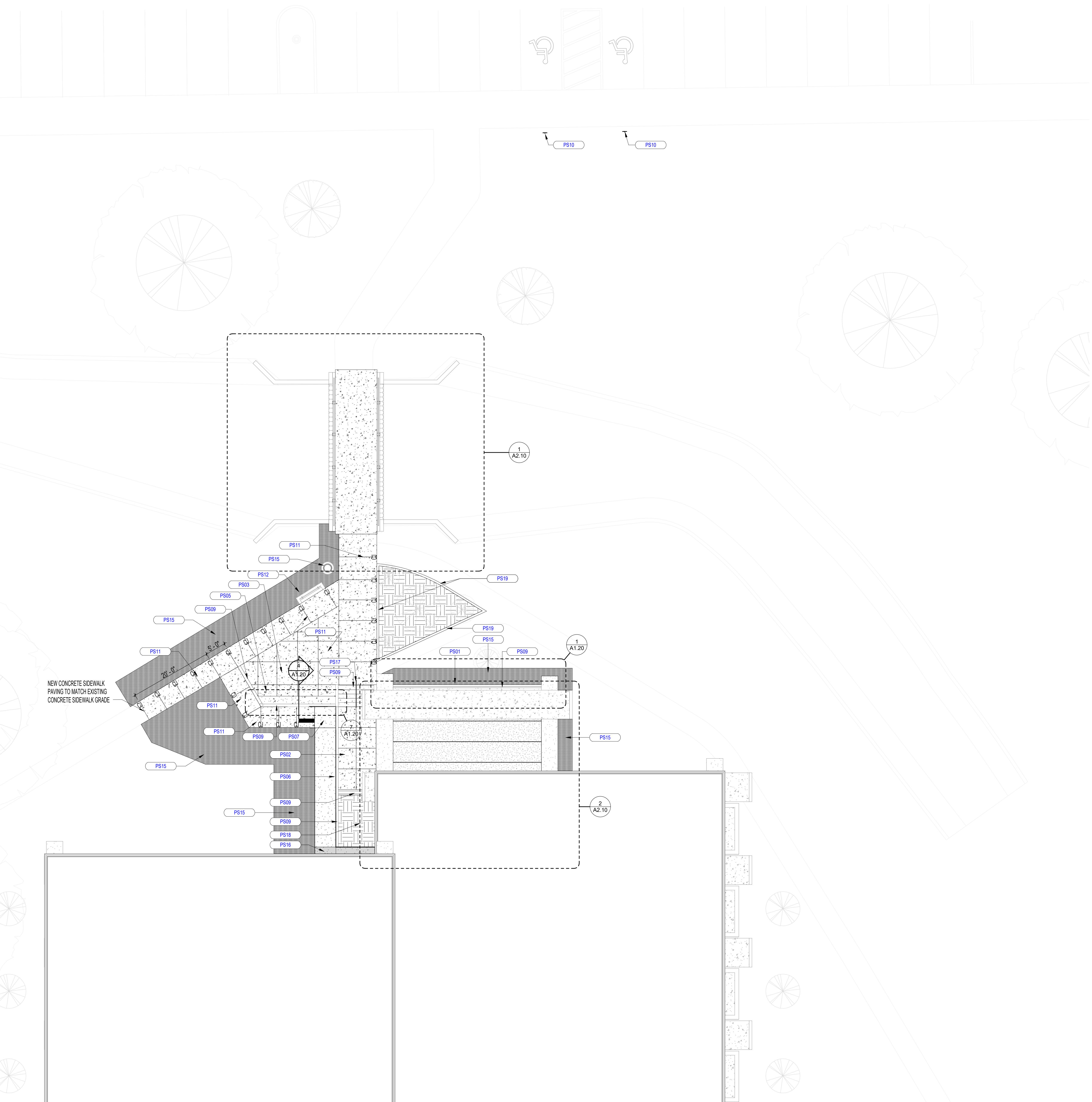


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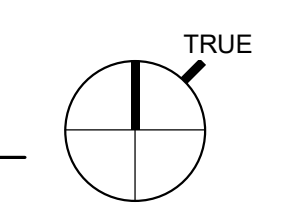
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1 ARCHITECTURAL SITE PLAN
1" = 10'-0"



SITE PLAN LEGEND	
	CAST-IN-PLACE CONCRETE ADA ACCESSIBLE RAMP
	CONCRETE TOPPING SLAB ON EXISTING CONCRETE ADA RAMP
	CONCRETE SIDEWALK PAVING
	EXISTING SCOPE AREA TO REMAIN
	RE-CONTOURING EXISTING GRADE & HYDRO-MULCHING NEW GRADE
	EXISTING MULCH LANDSCAPE BED

LEGAL DESCRIPTION:	ZONING & USE:
STATE: TEXAS	ZONED: COM-BUSINESS
COUNTY: DALLAS	LAND USE: MUNICIPAL RECREATION CENTER
CITY: MESQUITE	GROSS BUILDING AREA: N/A
DANIEL TANNER ABST 1462 PG 624 TR 19 ACS 26.25	SPECIAL AREA AND DESIGN STANDARDS
LOC ON ORIG TOWN MESQUITE SH 12F CO-DALLAS 1462624101900 33814626241	BUILDING HEIGHT: MAXIMUM: N/A PROVIDED: N/A
LOT AREA 25.09 ACRES	SETBACKS: FRONT: N/A SIDE: N/A REAR: N/A

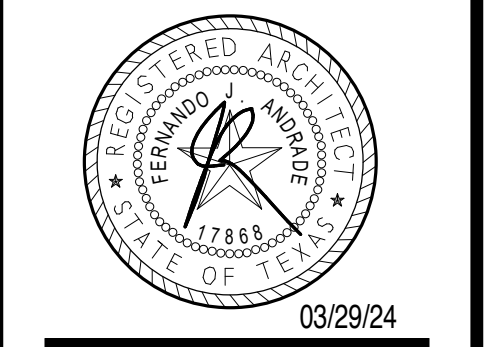
PARKING SPACES:	
TOTAL PARKING SPACES REQUIRED:	
REQUIRED: 1 SPACE PER 250 S.F. OF OFFICE	25,000 S.F. (GROSS)/250 = 100 SPACES
100 SPACES + 6 ACCESSIBLE SPACES = 106	
PROVIDED: 174 SPACES + 10 ACCESSIBLE = 184 SPACES	
ACCESSIBLE PARKING SPACES:	
REQUIRED: 6 SPACES TOTAL	
PROVIDED: 10 SPACES TOTAL (6 VAN, 4 REGULAR)	

KEYNOTE LEGEND PER SHEET	
NUMBER	DESCRIPTION
PS01	6" CAST-IN-PLACE CONCRETE PLANTER CURB. REFER DRAWING 01A1.10.
PS02	2" CONCRETE TOPPING SLAB WITH BROOM FINISH. FINISH GRADE OF NEW CONCRETE TO MATCH EXISTING.
PS03	NEW CONCRETE PAVEMENT WITH BROOM FINISH. CONCRETE PAVEMENT TO MATCH EXISTING.
PS05	SQUARE STEEL PLATE BIKE RACK WITH BLACK HIGH PERFORMANCE COATING AND ANCHORED INTO EXISTING CONCRETE BIKE RACK. REFERENCE 08A1.20.
PS06	CAST-IN-PLACE CONCRETE ADA ACCESSIBLE RAMP WITH BROOM FINISH AND 1-1/2" STEEL PIPE RAILING PAINTED BLACK AND EMBEDDED INTO SIDE OF CONCRETE RAMP STRUCTURE. REFER TO SECTION ON 02A1.10 FOR APPROPRIATE MOUNTING DETAIL.
PS07	CAST-IN-PLACE CONCRETE PAVEMENT RAMP LANDING WITH BROOM FINISH.
PS09	PRESSURE CLEAN EXISTING CONCRETE RETAINING WALLS. CONCRETE STAIRS, TREADS, RISERS, AND LANDINGS. AND EXPOSED UNPAINTED CONCRETE BELOW FINISH FLOOR OF REC CENTER ENTRANCE.
PS10	NEW HANDICAPPED PARKING STALL SIGNS, AND CONCRETE FOUNDATION EMBED. REFER TO 6A1.10.
PS11	NEW CAST-IN-PLACE CONCRETE SIDEWALK PAVING SLOPED UNDER 5% PER ADA REGULATIONS. CONCRETE PAVING IS TO SURFACE DRAIN FOLLOWING NATURAL GRADE TO DRAINAGE SWELL. REMOVE ADDITIONAL GRADE AS NEEDED FOR GRAVEL DRAINAGE SUB-GRADE PER STRUCTURAL ENGINEER'S RECOMMENDATIONS. CONCRETE PAVING TO BLEND INTO EXISTING CONCRETE SIDEWALK PAVING TO REMAIN AT EXISTING GRADES. PROVIDE CONCRETE CONTROL JOINTS AT 10' MAX O.C. SPACING.
PS12	PROTECT EXISTING WOOD SEAT & BENCH, AND TRASH RECEPTACLE. CONCRETE BASE OF BENCH TO BE PRESERVED AT EXISTING JOINT BETWEEN BENCH FOUNDATION AND SIDEWALK.
PS15	CONTOUR EXISTING GRADE TO PROVIDE 1" DROP FROM NEW CONCRETE SIDEWALK GRADE TO NEW SITE GRADING. AT ADA ACCESSIBLE RAMP. CONTOUR EXISTING GRADE TO PROVIDE PROPER DRAINAGE AROUND ADA RAMP AND NEW SIDEWALK PAVING. HYDRO MULCH AREA INDICATED AROUND SCOPE-OF-WORK TO REPAIR EXISTING LANDSCAPE.
PS16	CONCRETE TOPPING SLAB ADDED ON TOP OF EXISTING ADA ACCESSIBLE RAMP AND LANDING WITH BROOM FINISH. AND 1-1/2" STEEL PIPE RAILING PAINTED BLACK AND EMBEDDED INTO SIDE OF CONCRETE RAMP STRUCTURE AND WALL MOUNTED TO EXISTING REC CENTER BUILDING. REFER TO SECTION ON 02A1.10 FOR APPROPRIATE MOUNTING DETAIL. APPLY CONCRETE TOPPING FINISH OVER ALL EXISTING EXPOSED CONCRETE OF EXISTING ADA ACCESSIBLE RAMP TO REMAIN.
PS17	ADA-COMPLIANT 1-1/2" DIA. STEEL TUBE HANDRAIL BALUSTRADES AND HANDRAIL EXTENSION TO MATCH REMOVED STEEL HANDRAIL ANCHORED INTO EXISTING CONCRETE EXTERIOR STAIR CONSTRUCTION OF EXISTING REC CENTER ENTRANCE PAVILION. STEEL PIPE HANDRAIL AND ALL COMPONENTS TO BE PAINTED BLACK WITH HIGH PERFORMANCE COATING.
PS18	BACKFILL ANY HOLES AND/OR SOIL DEPRESSIONS LEFT FROM TREE REMOVAL OVER DISTURBED GROUND FROM TREE REMOVAL, AND APPLY NEW MULCH TO MATCH EXISTING LANDSCAPE BED.
PS19	6" CAST-IN-PLACE CONCRETE PLANTER CURB. REFER DRAWING 03A1.10. PROTECT TO THE GREATEST EXTENT POSSIBLE EXISTING TREES DURING EXISTING CONCRETE BLOCK WALL REMOVAL AND EXCAVATING EXISTING GRADE FOR NEW PLANTER BED WALL.

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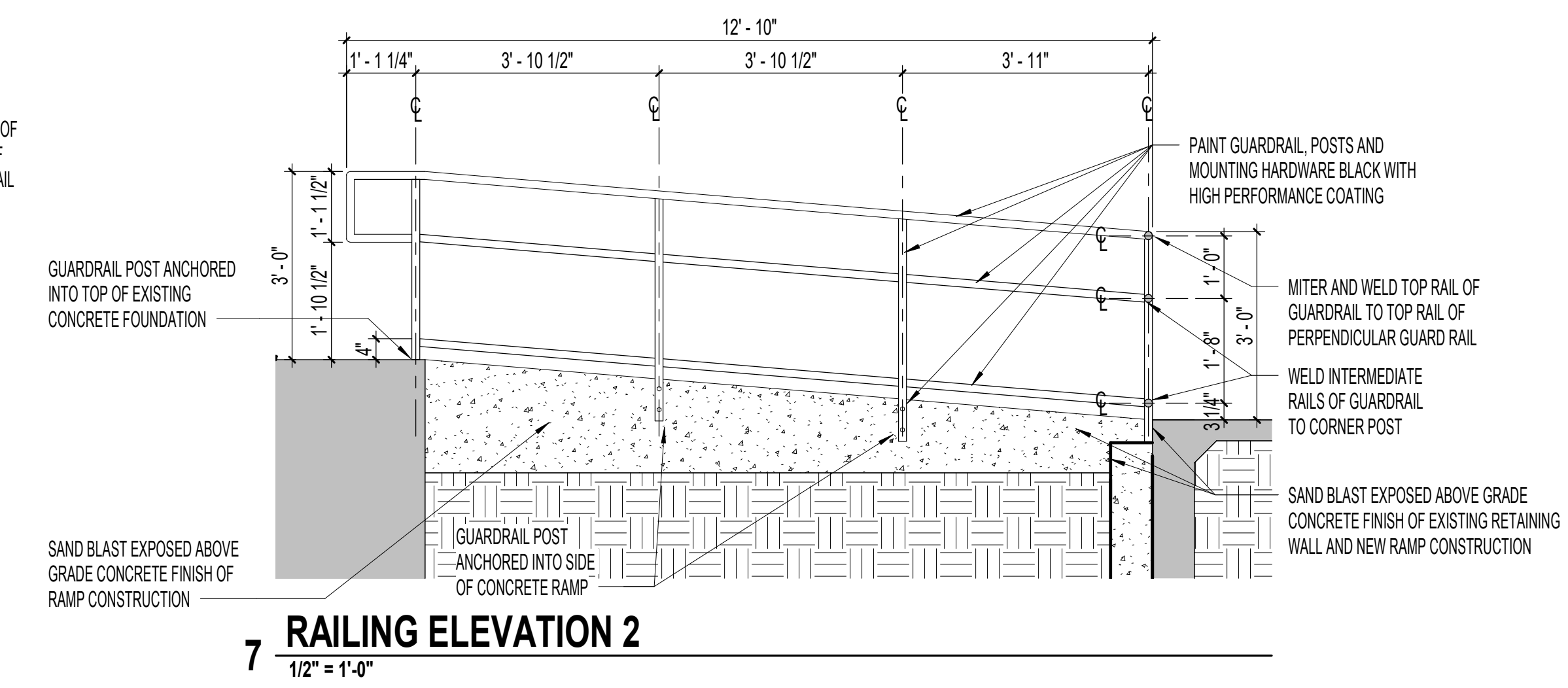
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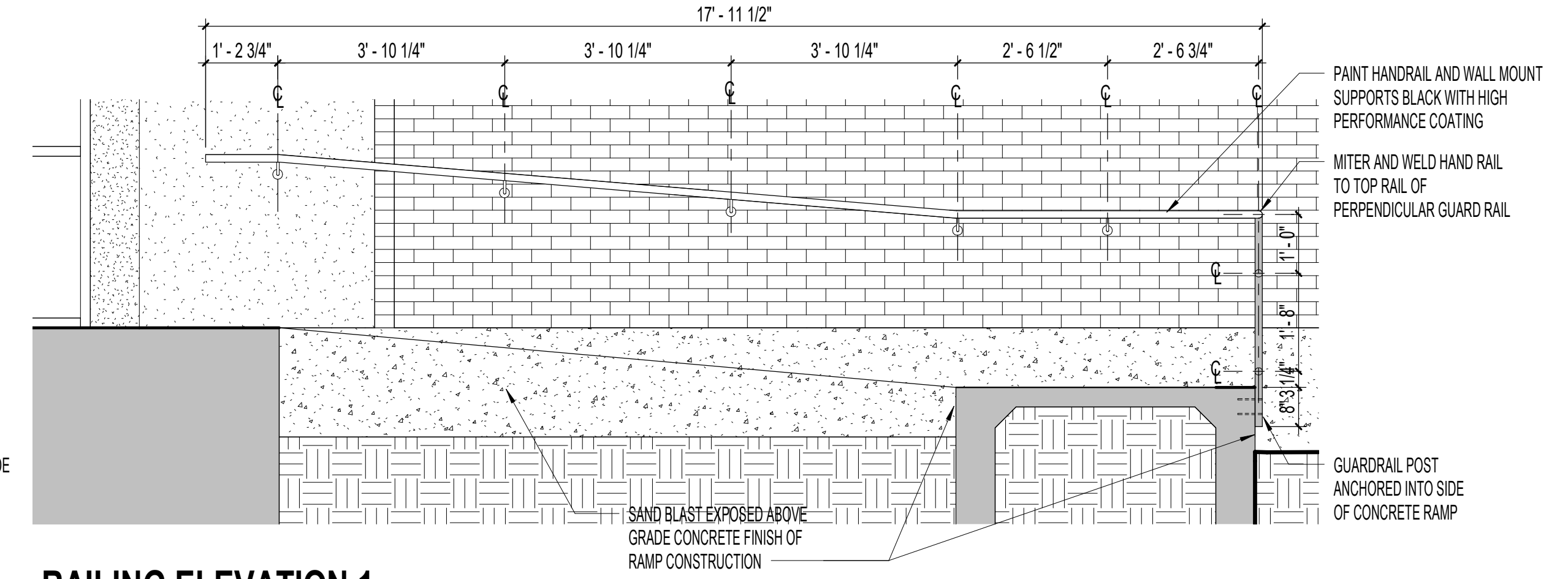
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SITE PLAN

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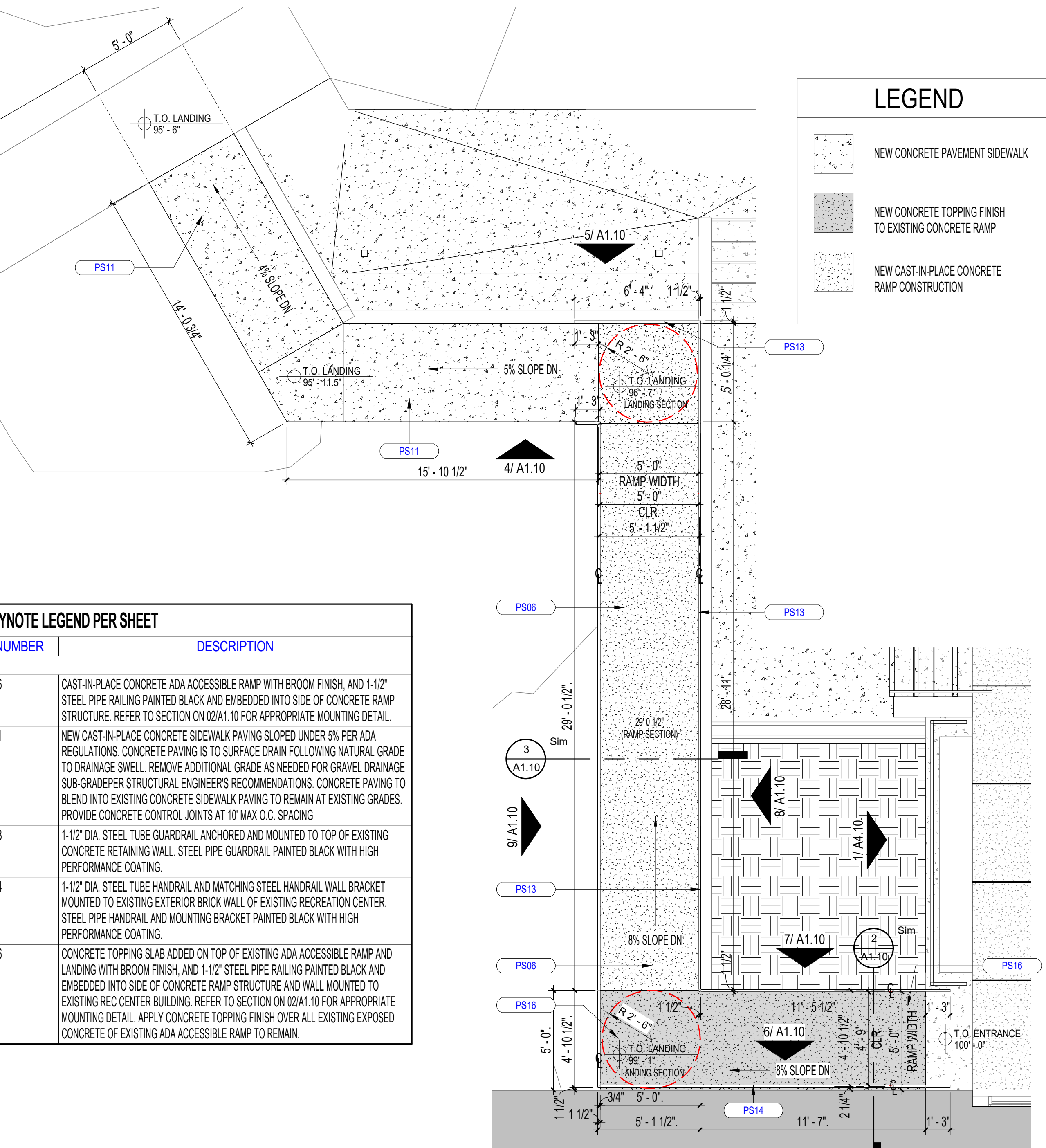
A1.00



7 RAILING ELEVATION 2
1/2" = 1'-0"



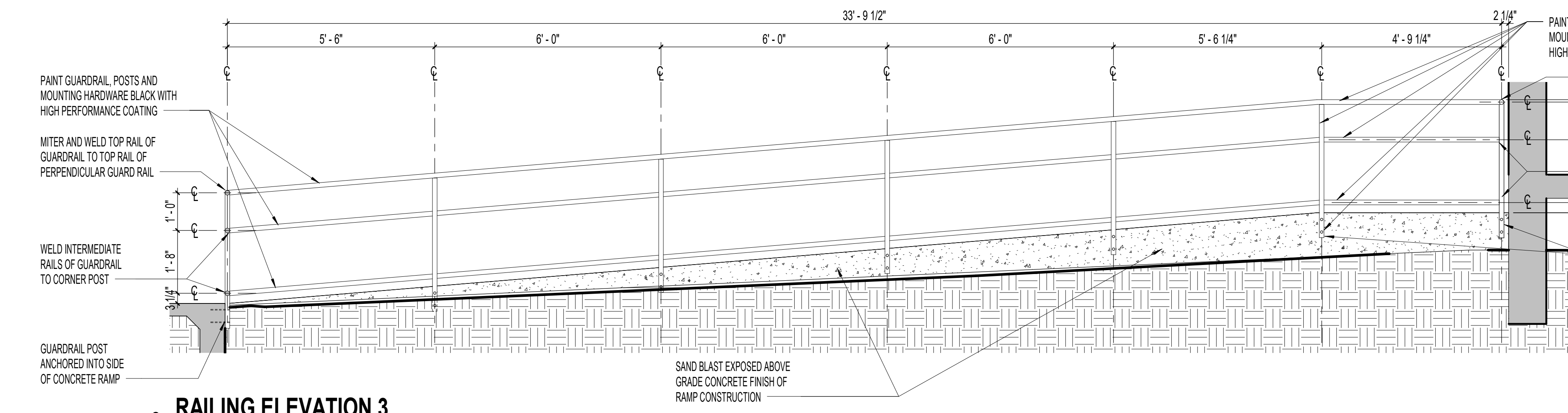
6 RAILING ELEVATION 1
1/2" = 1'-0"



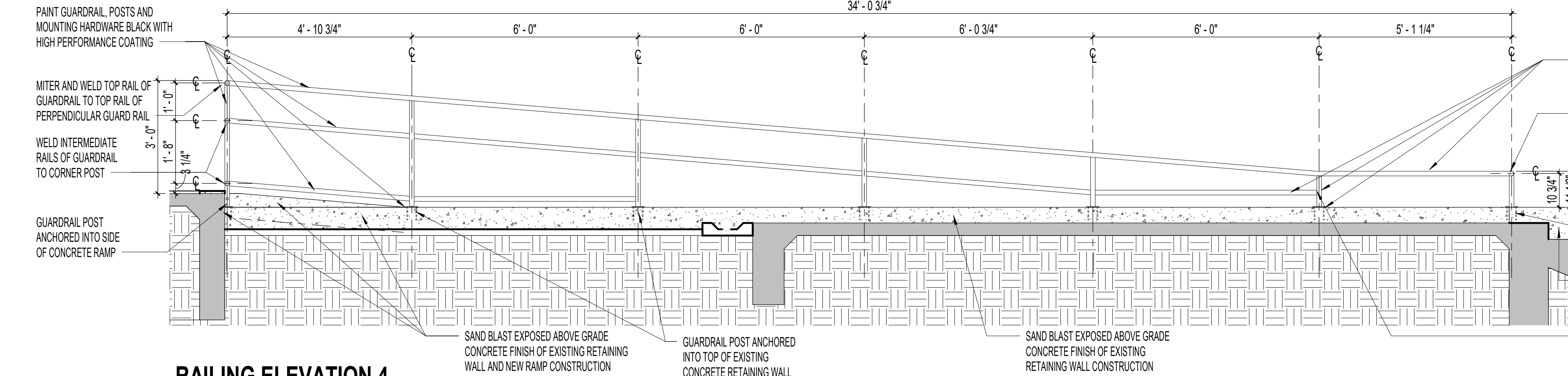
KEYNOTE LEGEND PER SHEET	
NUMBER	DESCRIPTION
PS06	CAST-IN-PLACE CONCRETE ADA ACCESSIBLE RAMP WITH BROOM FINISH AND 1-1/2" STEEL PIPE RAILING PAINTED BLACK AND EMBEDDED INTO SIDE OF CONCRETE RAMP STRUCTURE. REFER TO SECTION ON 02A1.10 FOR APPROPRIATE MOUNTING DETAIL.
PS11	NEW CAST-IN-PLACE CONCRETE SIDEWALK PAVING SLOPED UNDER 5% PER ADA REGULATIONS. CONCRETE PAVING IS TO SURFACE DRAIN FOLLOWING NATURAL GRADE TO DRAINAGE SWELL. REMOVE ADDITIONAL GRADE AS NEEDED FOR GRAVEL DRAINAGE SUB-GRADEPER STRUCTURAL ENGINEER'S RECOMMENDATIONS. CONCRETE PAVING TO BLEND INTO EXISTING CONCRETE SIDEWALK PAVING TO REMAIN AT EXISTING GRADES. PROVIDE CONCRETE CONTROL JOINTS AT 10' MAX O.C. SPACING.
PS13	1-1/2" DIA. STEEL TUBE GUARDRAIL ANCHORED AND MOUNTED TO TOP OF EXISTING CONCRETE RETAINING WALL. STEEL PIPE GUARDRAIL PAINTED BLACK WITH HIGH PERFORMANCE COATING.
PS14	1-1/2" DIA. STEEL TUBE HANDRAIL AND MATCHING STEEL HANDRAIL BRACKET MOUNTED TO EXISTING EXTERIOR BRICK WALL OF EXISTING RECREATION CENTER. STEEL PIPE HANDRAIL AND MOUNTING BRACKET PAINTED BLACK WITH HIGH PERFORMANCE COATING.
PS16	CONCRETE TOPPING SLAB ADDED ON TOP OF EXISTING ADA ACCESSIBLE RAMP AND LANDING WITH BROOM FINISH AND 1-1/2" STEEL PIPE RAILING PAINTED BLACK AND EMBEDDED INTO SIDE OF CONCRETE RAMP STRUCTURE AND WALL MOUNTED TO EXISTING REC CENTER BUILDING. REFER TO SECTION ON 02A1.10 FOR APPROPRIATE MOUNTING DETAIL. APPLY CONCRETE TOPPING FINISH OVER ALL EXISTING EXPOSED CONCRETE OF EXISTING ADA ACCESSIBLE RAMP TO REMAIN.

1 MESQUITE EVANS PARK REC CENTER ACCESSIBLE RAMP PLAN
1/4" = 1'-0"

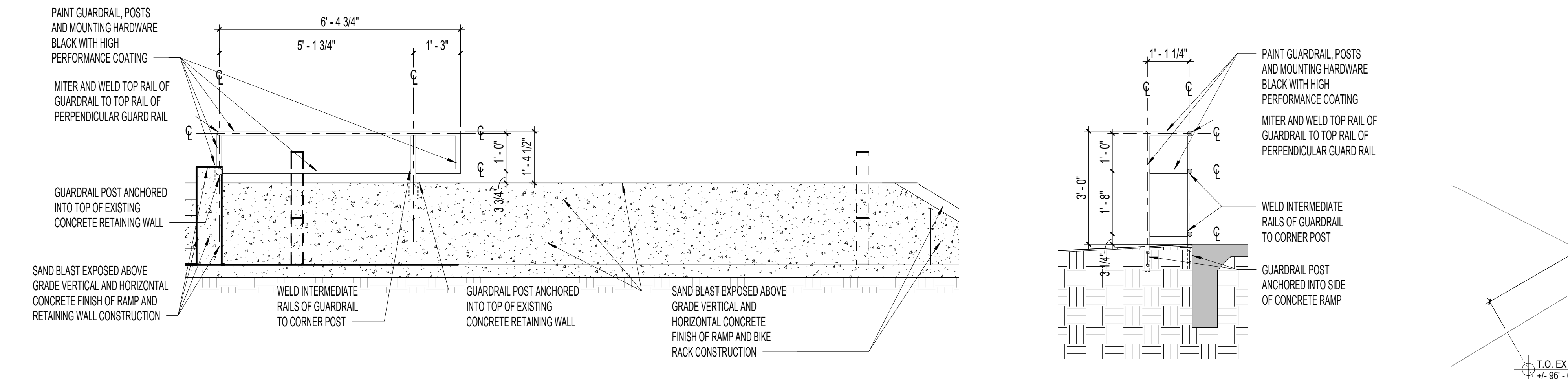
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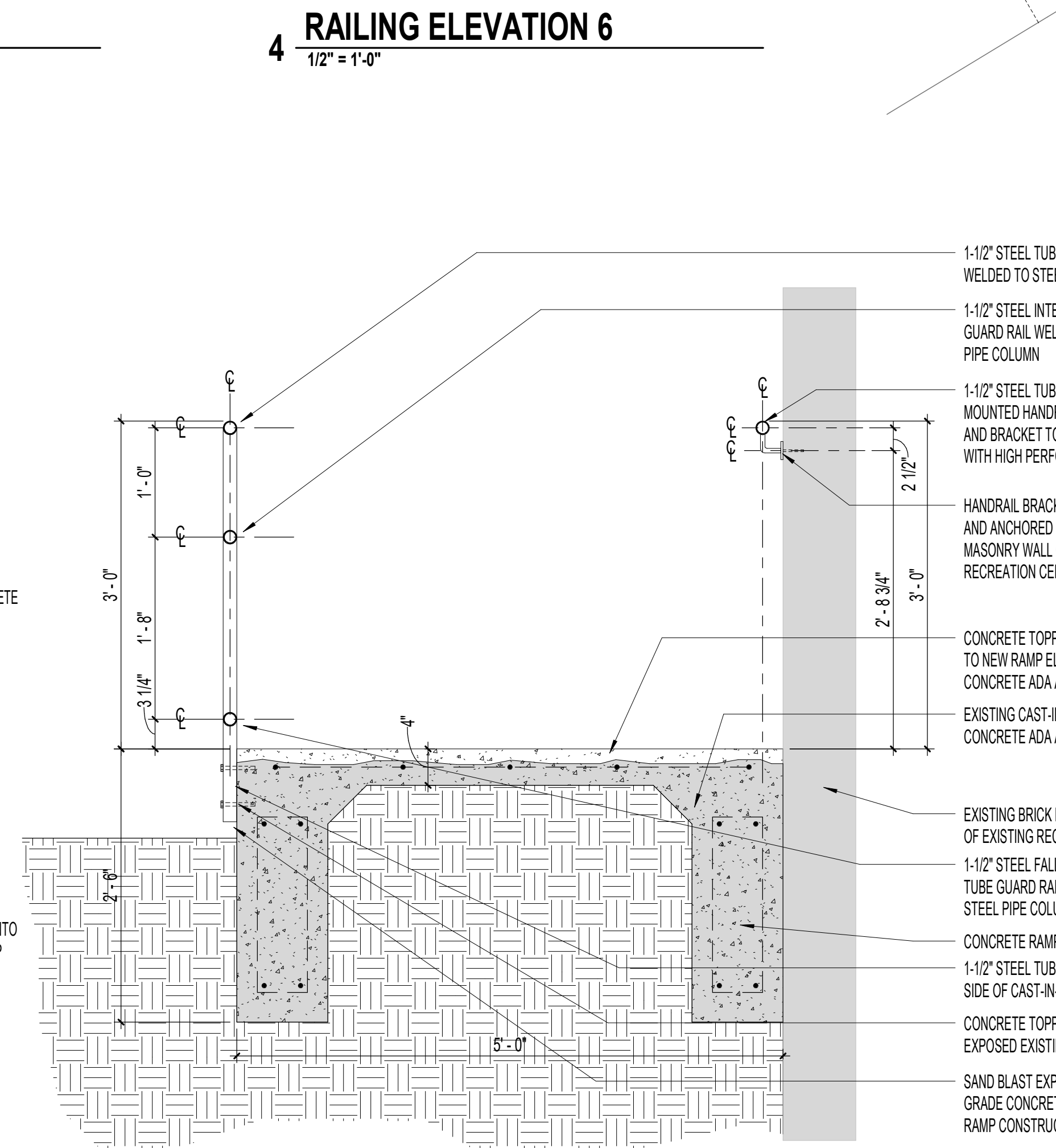
9 RAILING ELEVATION 3
1/2" = 1'-0"



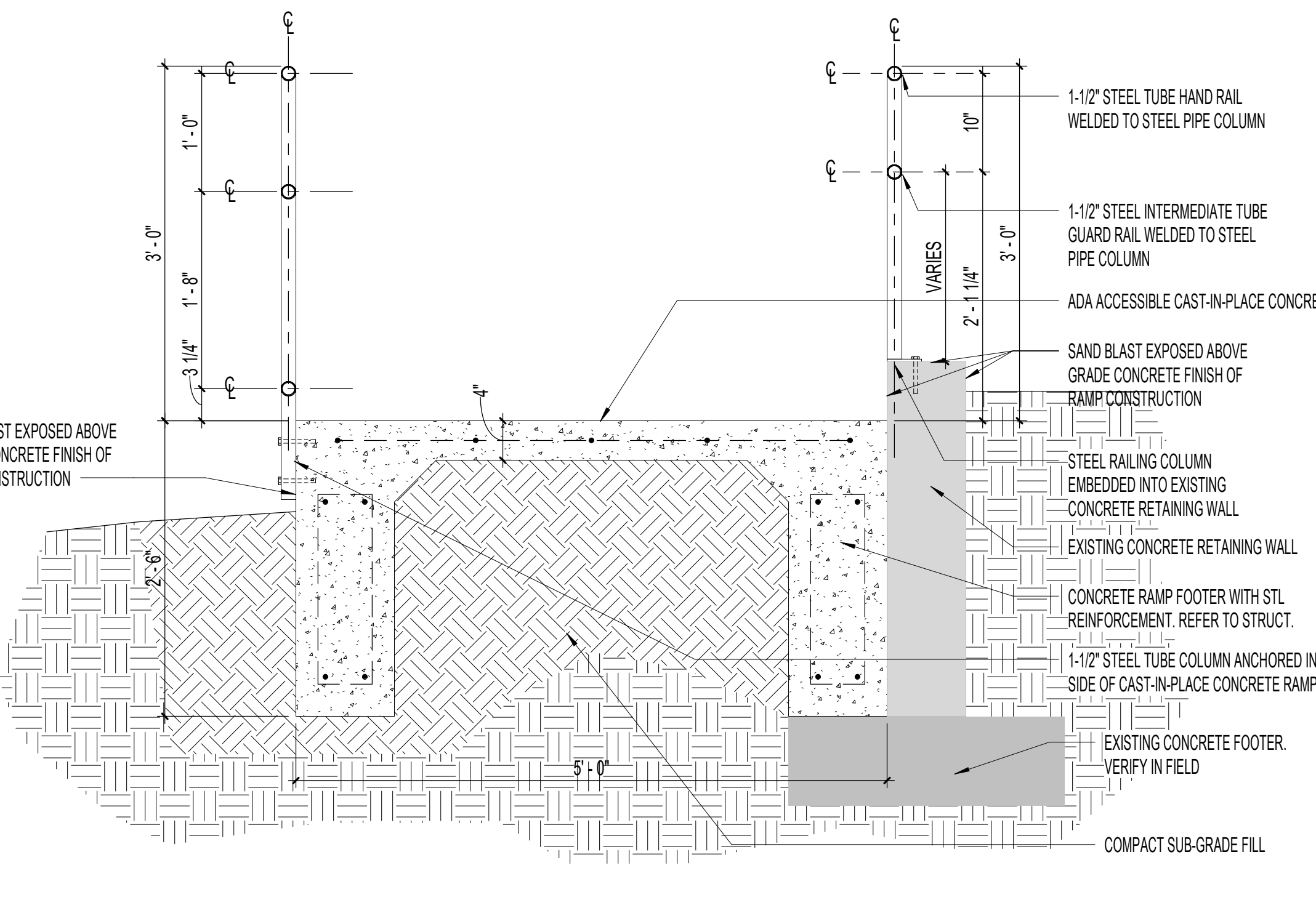
8 RAILING ELEVATION 4
1/2" = 1'-0"



5 RAILING ELEVATION 5
1/2" = 1'-0"



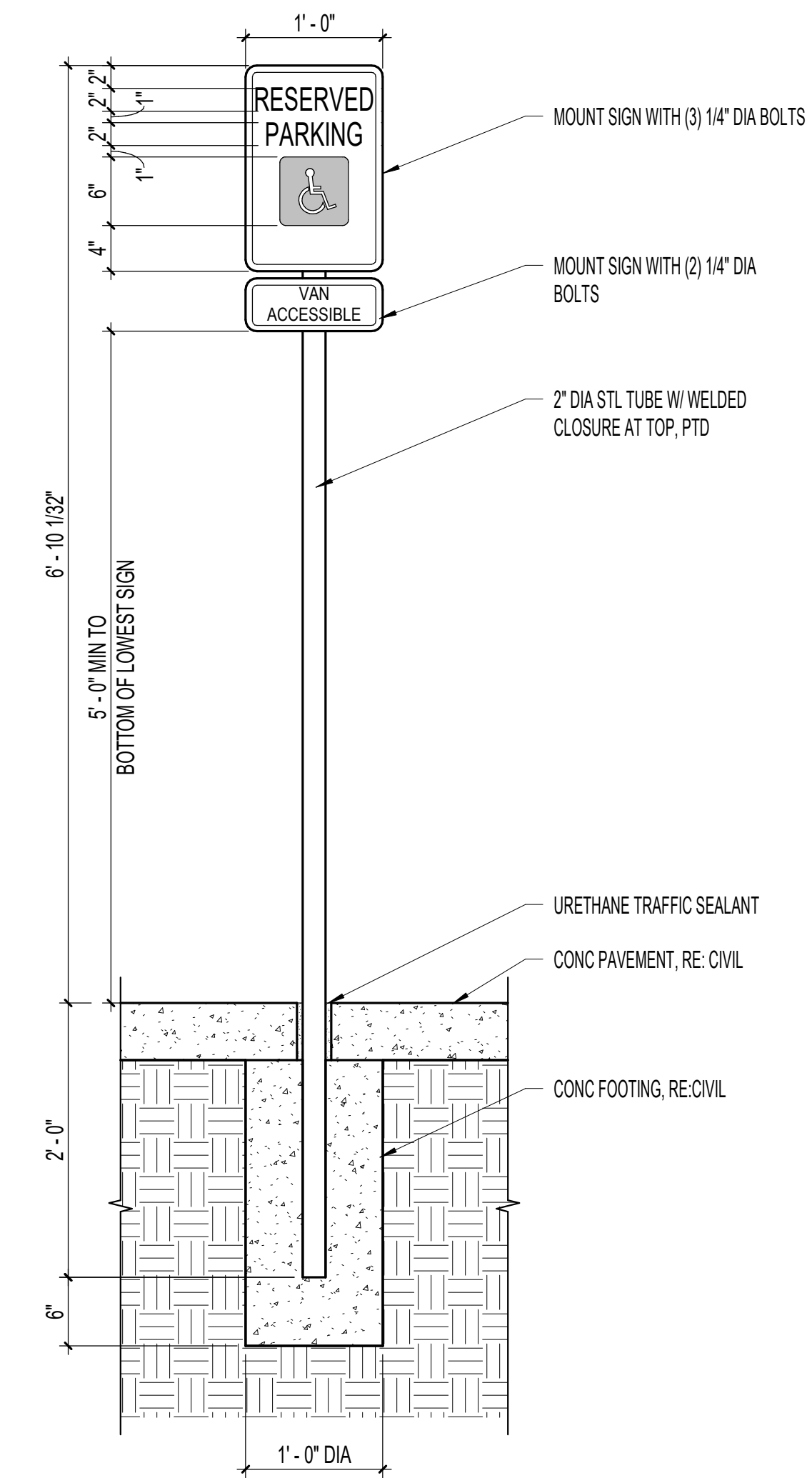
2 ACCESSIBLE RAMP SECTION @ TOPPING FINISH
1" = 1'-0"



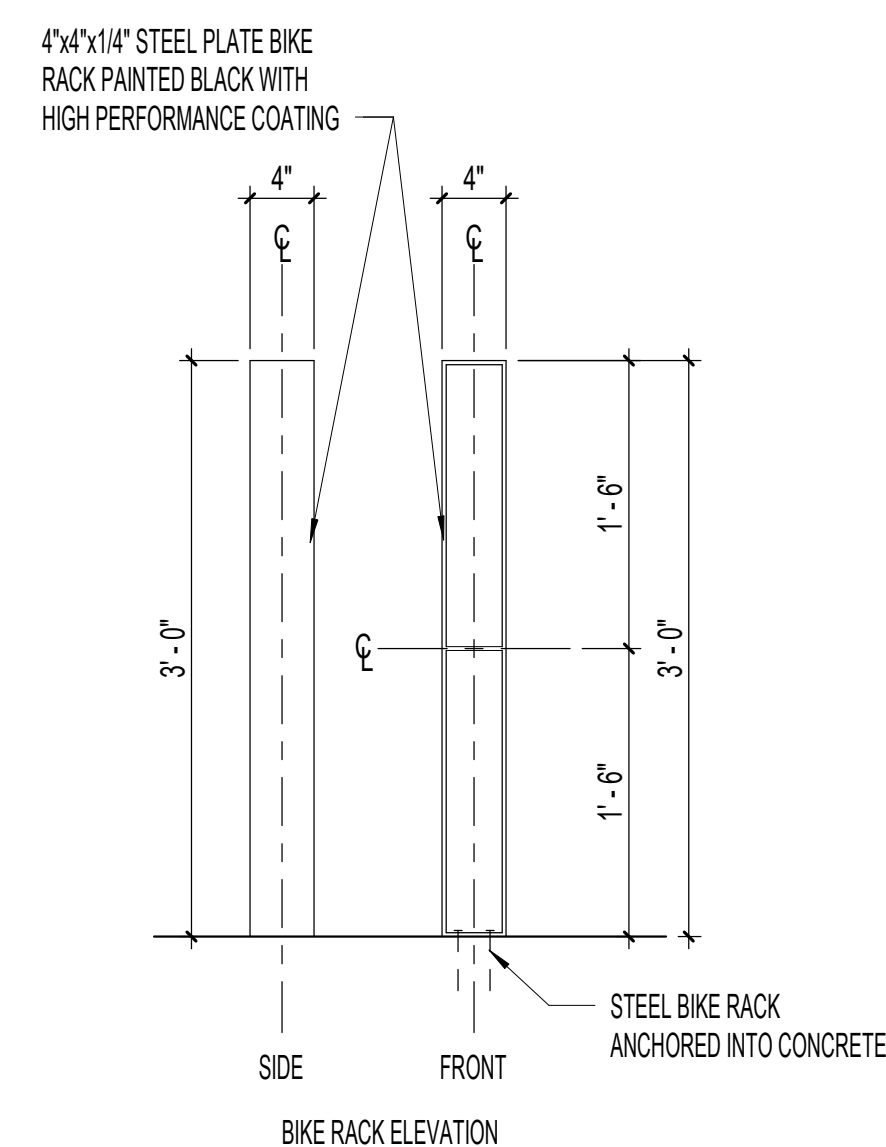
3 ACCESSIBLE RAMP SECTION @ NEW RAMP CONSTRUCTION
1" = 1'-0"

Revisions:

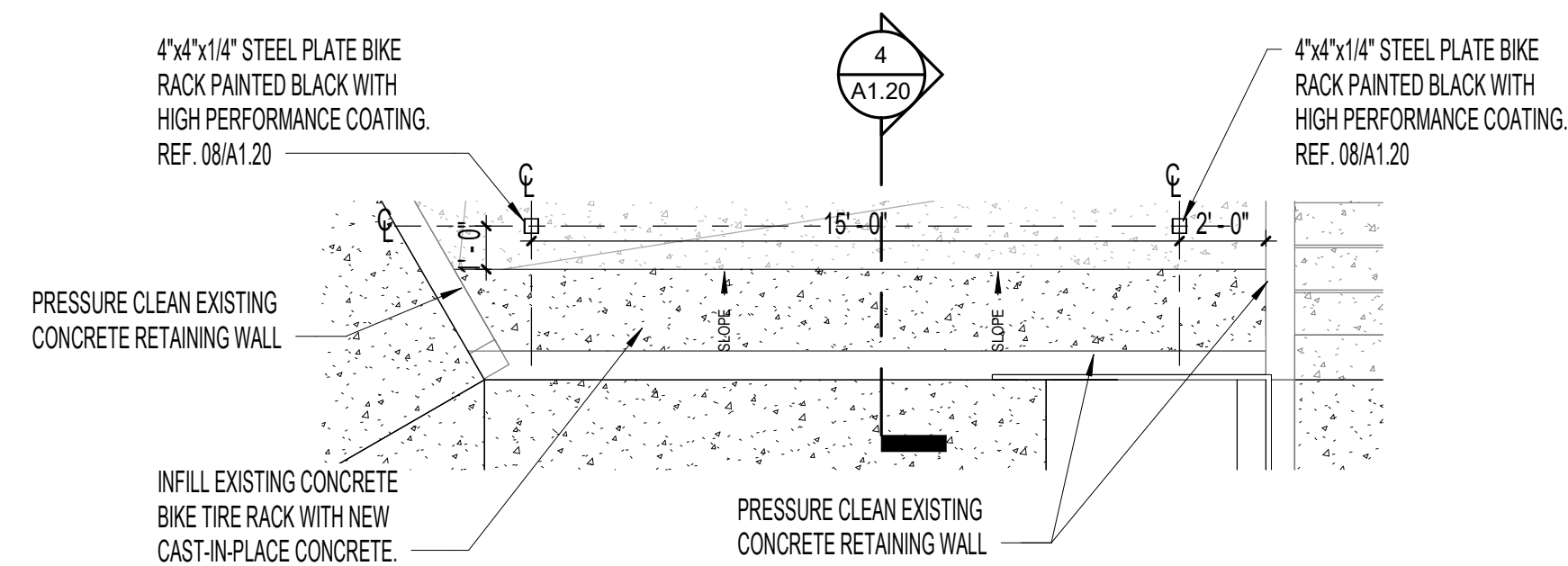
REV.	DATE	TITLE



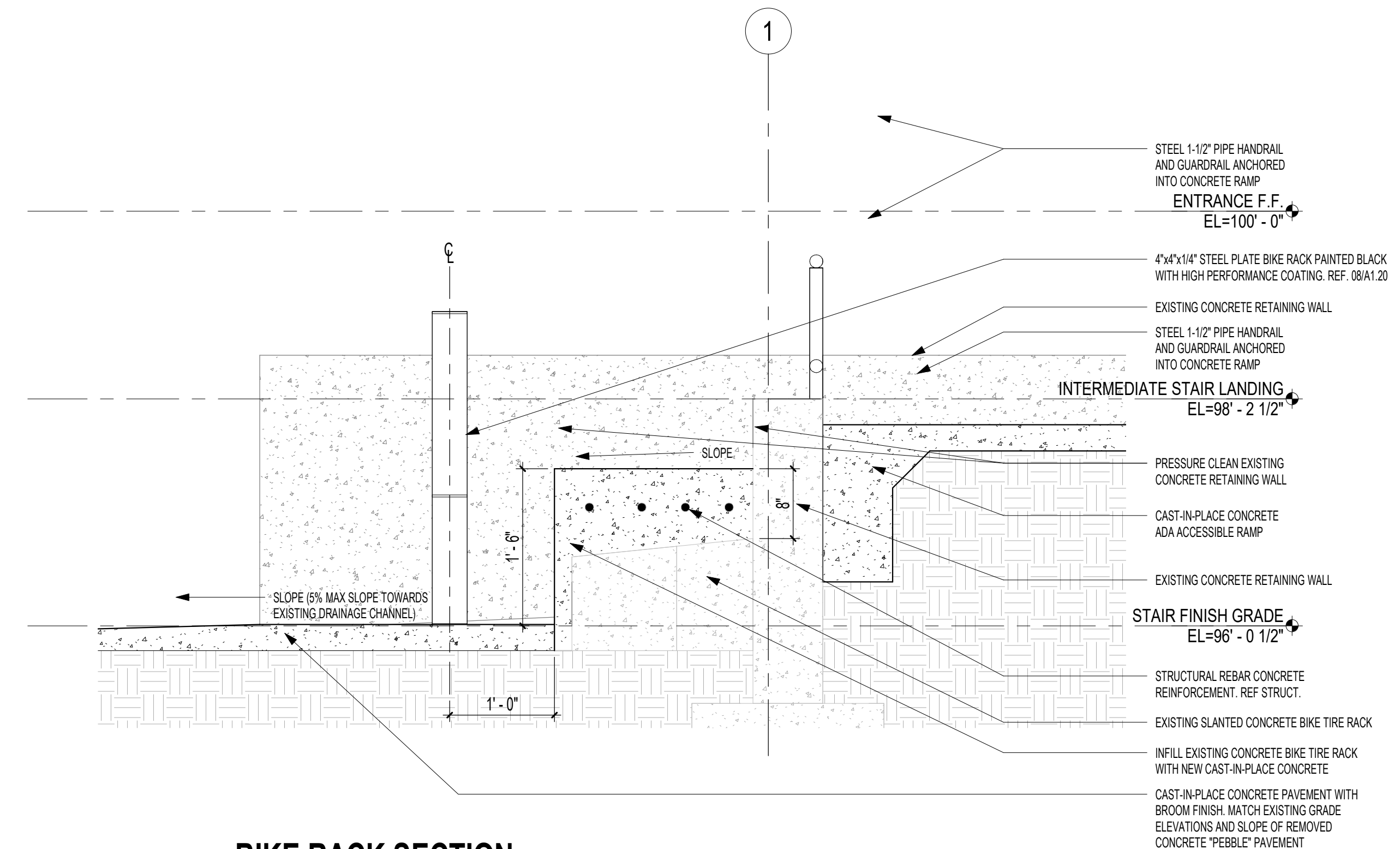
6 HANDICAP PARKING SIGN
 1" = 1'-0"



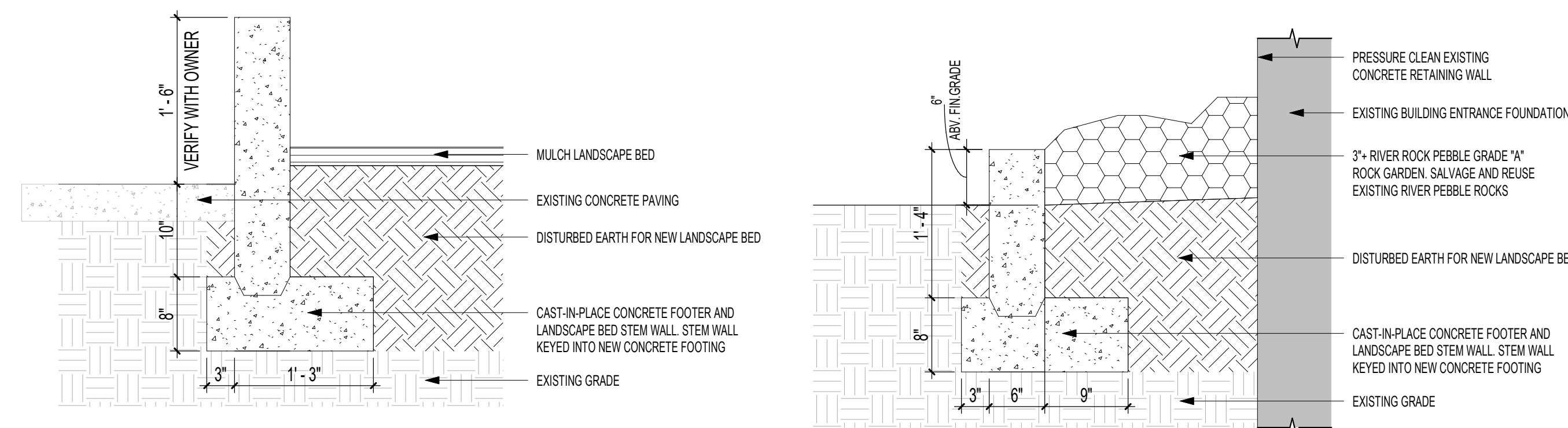
8 BIKE RACK ELEVATION
 1" = 1'-0"



7 BIKE RACK ENLARGED PLAN
 1/4" = 1'-0"

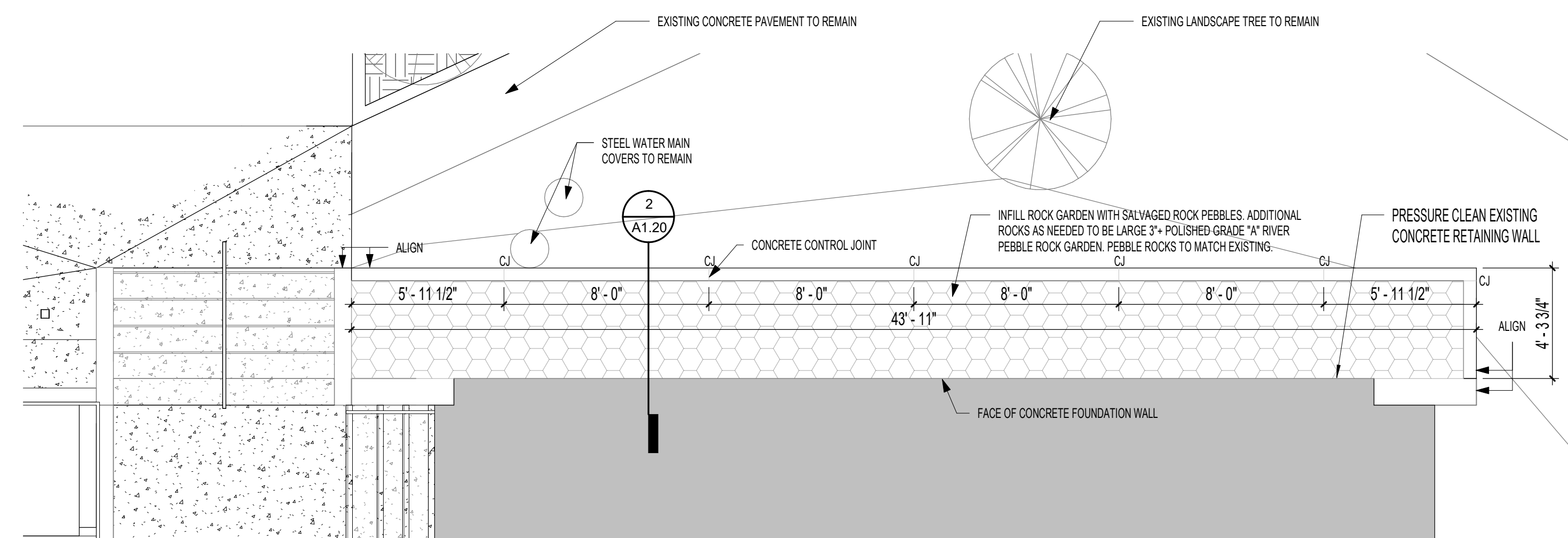


4 BIKE RACK SECTION
 1" = 1'-0"



3 CONCRETE LANDSCAPE PLANTER BED BORDER
 1" = 1'-0"

2 CONCRETE LANDSCAPE BED BORDER
 1" = 1'-0"



1 ROCK GARDEN SITE PLAN ENLARGED PLAN
 1/4" = 1'-0"

Revisions:

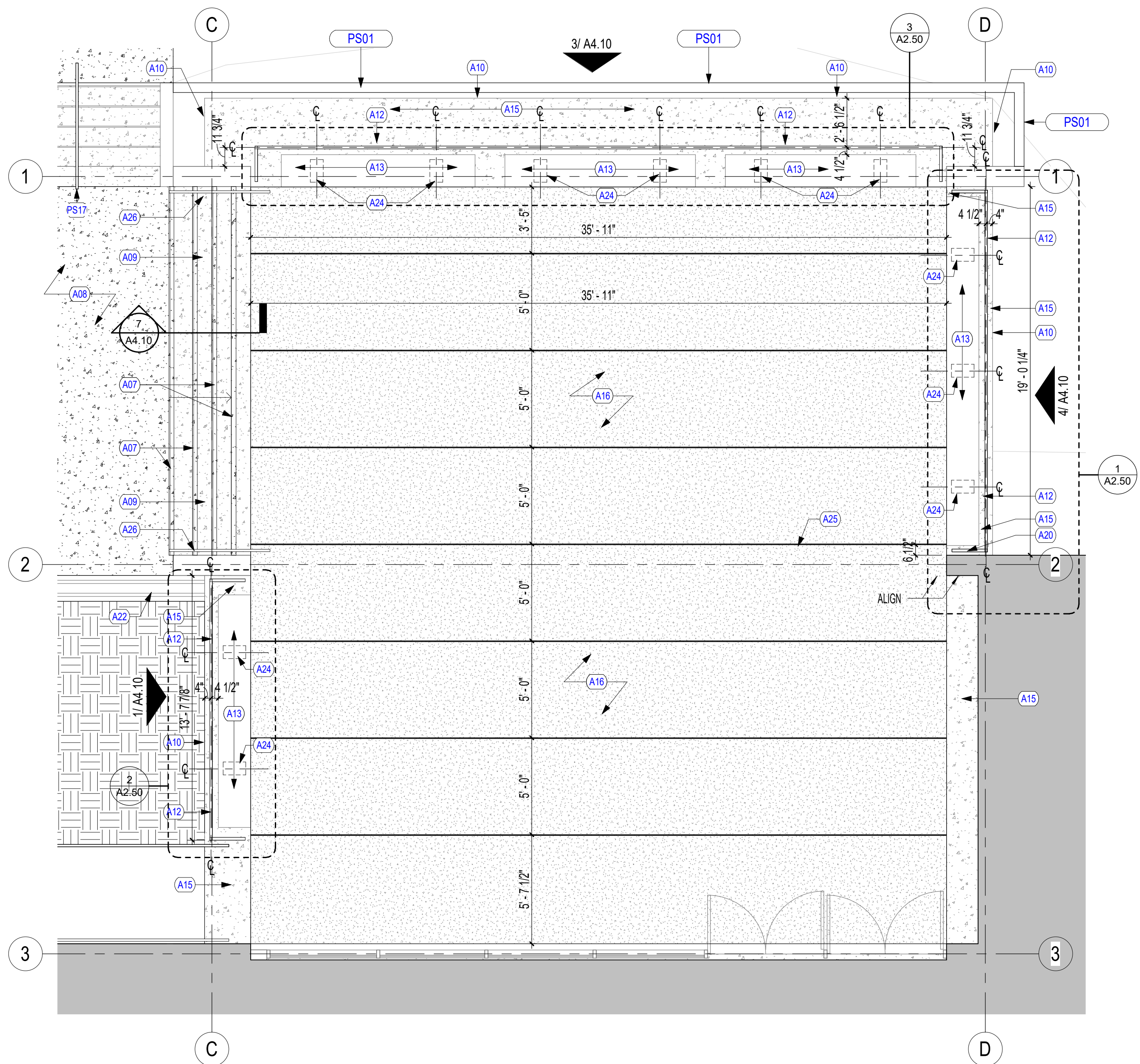
REV.	DATE	TITLE

FLOOR PLAN GENERAL NOTES

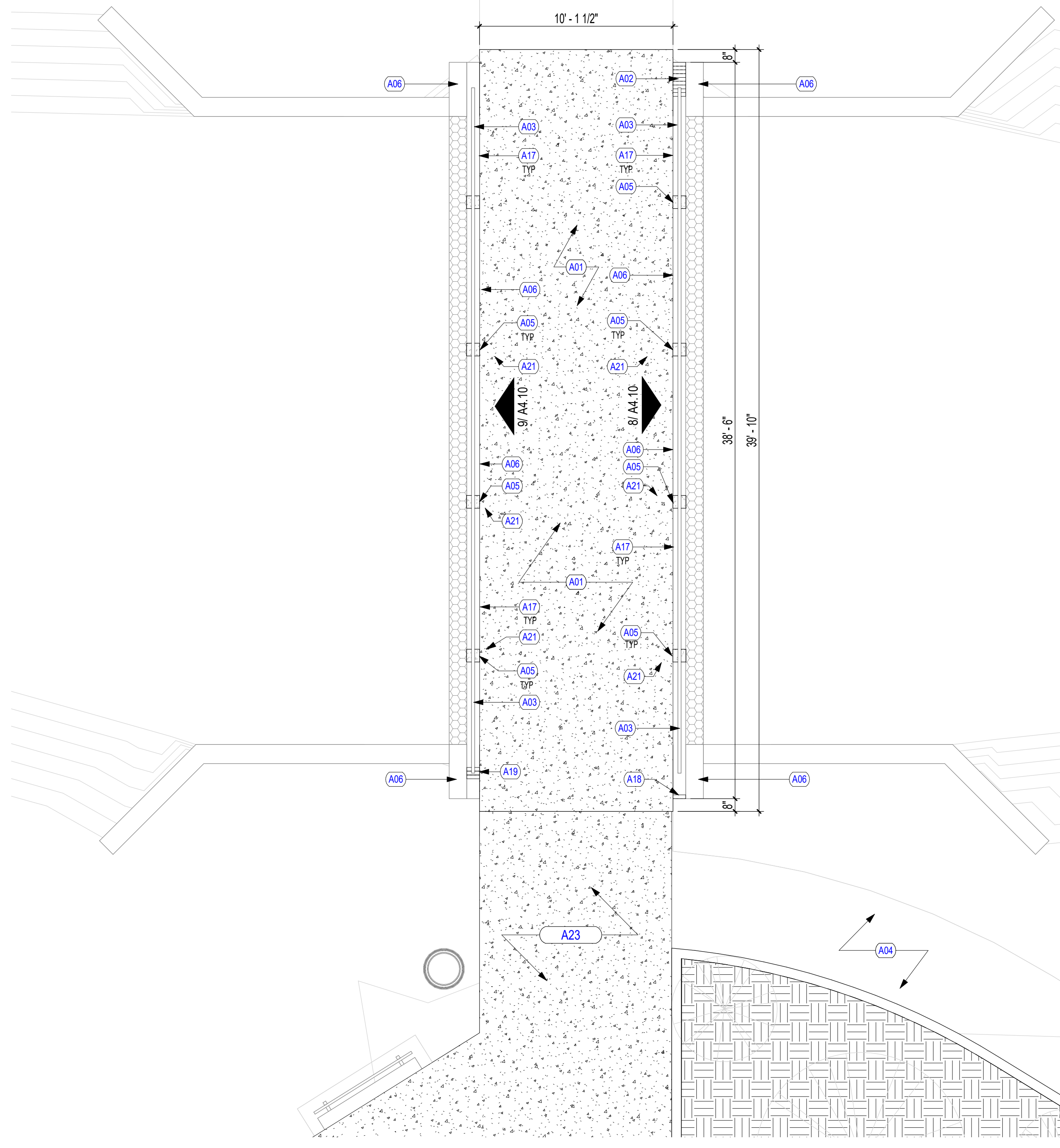
- DO NOT SCALE DRAWINGS; DIMENSIONS GOVERN. LARGE SCALE DIMENSIONS GOVERN OVER SMALL SCALE. DIMENSIONS SHOWN ON THE FLOOR PLANS ARE FROM CENTERLINE OF COLUMNS TO FACE OF FINISH OF INTERIOR WALLS AND TO FACE OF FINISH OF EXTERIOR WALLS UNLESS INDICATED OTHERWISE ON PLANS. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATIONS FROM THE ARCHITECT.
- CONTRACTOR SHALL VERIFY-IN-FIELD ALL EXISTING ELEVATIONS AND GRADES TO ENSURE PROPER SLOPES AND GRADE CHANGES REQUIRED IN SCOPE.
- FOR FURTHER DIMENSIONS, SEE ENLARGED PLANS, SECTIONS, & ELEVATIONS.
- CONTRACTOR IS TO NOTIFY ARCHITECT IF CONCRETE FLOOR/PAVEMENT SCOPE CONFLICT WITH STRUCTURAL ELEMENTS PRIOR TO PROCEEDING WITH WORK.
- CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES AND SPRINKLER IRRIGATION PIPING LOCATED AROUND PROJECT SCOPE LOCATION. CONTRACTOR SHALL ENSURE ALL BUILDING SYSTEMS REMAIN OPERATIONAL DURING CONSTRUCTION, AND REPAIR ANY DAMAGE CAUSED DURING CONSTRUCTION IMMEDIATELY.
- PROVIDE SEALANT AT JUNCTURE OF EXTERIOR FACES OF ADJACENT MATERIALS.
- ALL NEW CONCRETE SHALL MATCH EXISTING ADJACENT CONCRETE TEXTURE, COLOR, AND MIXTURE. NEW CONCRETE SHALL MATCH EXISTING CONCRETE AFTER BEING PRESSURE CLEANED TO BRING BACK TO ORIGINAL FINISH, U.N.O.
- REFER TO STRUCTURAL DRAWINGS FOR FLOOR SLOPES AND ELEVATIONS.
- REFER TO SHEET A7.30 FOR FINISH SELECTION SUMMARY.

KEYNOTE LEGEND PER SHEET

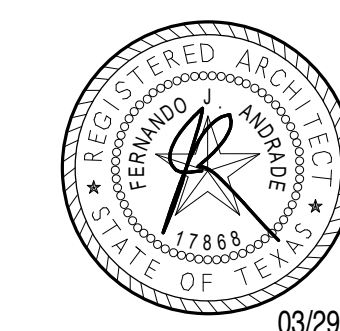
NUMBER	DESCRIPTION
A01	2" CONCRETE TOPPING SLAB WITH BROOM FINISH. FINISH GRADE AND SLOPE OF NEW CONCRETE TO MATCH EXISTING.
A02	SALVAGE AND RE-MORTAR FIRST TEN (10) EXISTING HEADER COURSE BRICKS FROM TOP OF EXISTING BRIDGE BRICK WALL.
A03	PAINT EXISTING STEEL TUBE GUARDRAIL. CONTRACTOR SHALL LIGHTLY SAND AND REPAIR ANY IMPERFECTIONS BEFORE FINAL PAINTING.
A04	PRESSURE CLEAN EXISTING CONCRETE PAVEMENT AND SIDEWALKS. REFER TO A1.00 SITE PLAN FOR EXTENTS OF PAVEMENT PRESSURE CLEANING.
A05	CONTRACTOR SHALL PROTECT EXISTING THRU-WALL WEEP HOLES.
A06	PRESSURE CLEAN EXISTING BRICK AND CONCRETE RETAINING WALLS OF BRIDGE CONSTRUCTION.
A07	REFORM AND CAST-IN-PLACE NEW STAIR RISERS AND TREADS. DOVEL AND EPOXY STEEL REBAR REINFORCEMENT INTO EXISTING CONCRETE STAIR CONSTRUCTION. MATCH EXISTING PROFILE AND FINISH OF EXISTING CONCRETE STAIRS.
A08	2" CONCRETE TOPPING SLAB WITH BROOM FINISH. FINISH GRADE AND SLOPE OF NEW CONCRETE TO MATCH EXISTING.
A09	PRESSURE CLEAN EXISTING CONCRETE STAIRS TREADS, RISERS, AND LANDINGS.
A10	PRESSURE CLEAN EXISTING EXPOSED/UNPAINTED CONCRETE BELOW FINISH FLOOR OF REC CENTER ENTRANCE.
A12	DECORATIVE ALUMINUM GUARDRAIL AROUND EXISTING CONCRETE BENCHES. DECORATIVE ALUMINUM TUBE GUARDRAIL TO BE ANCHORED INTO EXISTING CONCRETE FLOOR STRUCTURE OF ENTRANCE PAVILION. REFER TO A4.10.
A13	PRESSURE CLEAN EXISTING CONCRETE BENCHES AT REC CENTER ENTRANCE.
A15	PRESSURE CLEAN EXISTING EXPOSED CONCRETE FLOOR FINISH OF REC CENTER ENTRANCE.
A16	CONCRETE TOPPING SLAB WITH PATTERNED REVEALS AND ROCK SALT CONCRETE FINISH. FINISH GRADE AND SLOPE OF NEW CONCRETE TO MATCH EXISTING.
A17	INFILL & REPOINT EXISTING BRICK MASONRY WALL OF BRIDGE WALL CONSTRUCTION. CONTRACTOR SHALL REMOVE EXISTING OLD MORTAR FROM EXISTING BRICK MASONRY. EXISTING BRICKS SHALL BE PROTECTED FROM MORTAR REMOVAL. NEW MORTAR FOR REPOINTING SHALL MATCH EXISTING BRICK MORTAR TEXTURE, COLOR, HARDNESS, AND VAPOR PERMEABILITY. REPOINT AND EVENLY ALLOCATE THE MORTAR BETWEEN ALL JOINTS CLOSING THE Voids IN THE EXISTING MASONRY WALL. STRIKE AND FINISH EACH NEW MORTAR JOINT TO MATCH EXISTING MASONRY CONSTRUCTION.
A18	CLEAN EMPTY BRICK COURSE OF ANY LOOSE AND/OR DAMAGED BRICK MORTAR FOR NEW BRICK INSTALLATION. REPLACE EXISTING BROKEN BRICK TO MATCH EXISTING AND RE-MORTAR NEW BRICK TO MATCH EXISTING SOLDIER COURSE BRICK MASONRY CONSTRUCTION FROM TOP OF EXISTING BRIDGE BRICK WALL.
A19	REPLACE EXISTING BROKEN BRICK TO MATCH EXISTING. SALVAGE AND CLEAN OTHER TWO UNDAUNTED EXISTING BRICKS FOR REINSTALLATION. CLEAN EMPTY BRICK COURSES OF ANY LOOSE AND/OR DAMAGED BRICK MORTAR FOR NEW BRICK INSTALLATION. SALVAGE AND RE-MORTAR ALL THREE BRICKS BACK INTO EXISTING BRICK SOLDIER COURSE MASONRY CONSTRUCTION. REINSTALL EXISTING SALVAGED STEEL TUBE RAILING ANCHORS FROM BRICK WALL OF BRIDGE.
A20	REMOVE ALL DAMAGED AND LOOSE CONCRETE FROM DAMAGED CONCRETE FOUNDATION AREA. INFILL DAMAGED AREA OF CONCRETE FOUNDATION WITH NEW CONCRETE AND FINISH TO MATCH ADJACENT CONCRETE FINISH, COLOR, AND TEXTURE.
A21	APPLY CONTROL JOINT INTO NEW CONCRETE TOPPING SLAB. CONTROL JOINTS SHALL ALIGN WITH OUTSIDE EDGE OF EXISTING CONCRETE PILASTERS WITH BRIDGE'S WALL CONSTRUCTION.
A22	PRESSURE CLEAN EXISTING CONCRETE DRAINAGE TROUGH AT STAIR LANDING.
A23	NEW CAST-IN-PLACE CONCRETE SIDEWALK PAVING SLOPED UNDER 5% PER ADA REGULATIONS. CONCRETE PAVING IS TO SURFACE DRAIN FOLLOWING NATURAL GRADE TO DRAINAGE SWELL. REMOVE ADDITIONAL GRADE AS NEEDED FOR GRAVEL DRAINAGE SUB-GRADE PER STRUCTURAL ENGINEER'S RECOMMENDATIONS. CONCRETE PAVING TO BLEND INTO EXISTING CONCRETE SIDEWALK PAVING TO REMAIN AT EXISTING GRADES. PROVIDE CONCRETE CONTROL JOINTS AT 10' MAX O.C. SPACING.
A24	PAINT EXISTING CONCRETE BENCH SUPPORT BLACK WITH HIGH PERFORMANCE COATING. CONTRACTOR SHALL PRESSURE CLEAN, LIGHTLY SAND AND REPAIR ANY IMPERFECTIONS BEFORE FINAL PAINTING OF BENCH SUPPORTS.
A25	CAULKED CONCRETE CONTROL JOINT INSERTED INTO NEW CAST-IN-PLACE CONCRETE TOPPING SLAB. CONTROL JOINTS LOCATED AT EXISTING CRACKS IN TOPPING SLAB WHERE STRUCTURE BELOW TRANSITIONS. REFER TO STRUCT.
A26	ADA-COMPLIANT 1-1/2" DIA. STEEL TUBE HANDRAIL AND MATCHING STEEL HANDRAIL WALL BRACKET MOUNTED TO EXISTING STUCCO/CONCRETE EXTERIOR COLUMN OF EXISTING RECREATION CENTER ENTRANCE PAVILION. STEEL PIPE HANDRAIL AND MOUNTING BRACKET PAINTED BLACK WITH HIGH PERFORMANCE COATING. PATCH AND REPAIR EXISTING ANCHORING HOLES FROM REMOVED HANDRAIL, AND EXISTING STUCCO FINISH DAMAGED BY METAL HANDRAIL REMOVAL AND/OR NEW HANDRAIL INSTALLATION AS NEEDED.
PS01	6" CAST-IN-PLACE CONCRETE PLANTER CURB. REFER DRAWING 01A1.10.
PS17	ADA-COMPLIANT 1-1/2" DIA. STEEL TUBE HANDRAIL, BALUSTRADES AND HANDRAIL EXTENSION TO MATCH REMOVED STEEL HANDRAIL ANCHORED INTO EXISTING CONCRETE EXTERIOR STAIR CONSTRUCTION OF EXISTING REC CENTER ENTRANCE PAVILION. STEEL PIPE HANDRAIL AND ALL COMPONENTS TO BE PAINTED BLACK WITH HIGH PERFORMANCE COATING.



2 MESQUITE EVANS PARK REC CENTER ENTRANCE FLOOR PLAN
1/4" = 1'-0"



1 MESQUITE EVANS PARK REC CENTER BRIDGE PLAN
1/4" = 1'-0"



Revisions:

REV.	DATE	TITLE

Date:
ISSUED FOR PRICING
03/29/24

Project No.
3163

Drawn By:
KR

Checked By:
RC

Sheet Title:
ANNOTATION FLOOR PLANS

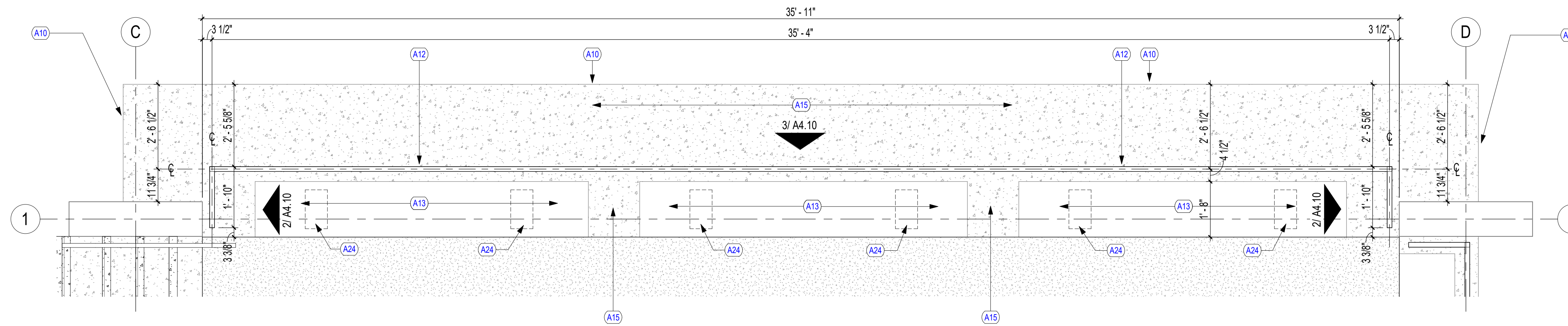
Drawing No.

FLOOR PLAN GENERAL NOTES

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- REFER TO SHEET A7.30 FOR FINISH SELECTION SUMMARY.

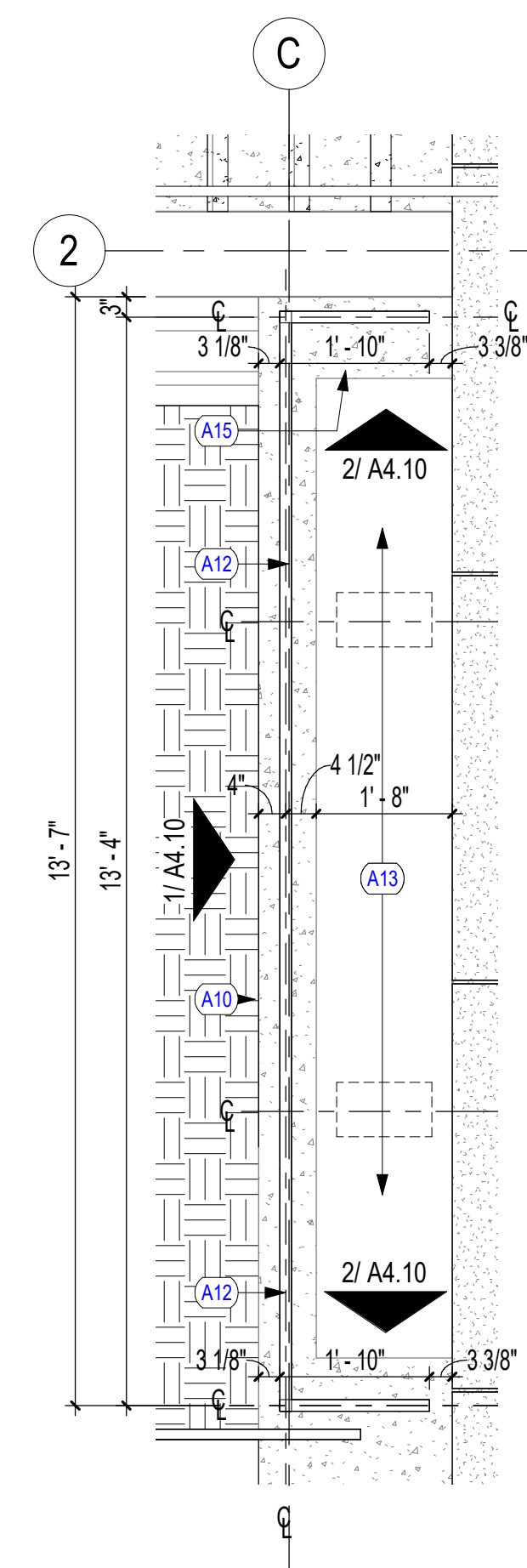
KEYNOTE LEGEND PER SHEET

NUMBER	DESCRIPTION
A10	PRESSURE CLEAN EXISTING EXPOSED UNPAINTED CONCRETE BELOW FINISH FLOOR OF REC CENTER ENTRANCE.
A12	DECORATIVE ALUMINUM GUARDRAIL AROUND EXISTING CONCRETE BENCHES. DECORATIVE ALUMINUM TUBE GUARDRAIL TO BE ANCHORED INTO EXISTING CONCRETE FLOOR STRUCTURE OF ENTRANCE PAVILION. REFER TO A4.10.
A13	PRESSURE CLEAN EXISTING CONCRETE BENCHES AT REC CENTER ENTRANCE.
A15	PRESSURE CLEAN EXISTING EXPOSED CONCRETE FLOOR FINISH OF REC CENTER ENTRANCE.
A20	REMOVE ALL DAMAGED AND LOOSE CONCRETE FROM DAMAGED CONCRETE FOUNDATION AREA. INFILL DAMAGED AREA OF CONCRETE FOUNDATION WITH NEW CONCRETE AND FINISH TO MATCH ADJACENT CONCRETE FINISH, COLOR, AND TEXTURE.
A24	PAINT EXISTING CONCRETE BENCH SUPPORT BLACK WITH HIGH PERFORMANCE COATING. CONTRACTOR SHALL PRESSURE CLEAN, LIGHTLY SAND AND REPAIR ANY IMPERFECTIONS BEFORE FINAL PAINTING OF BENCH SUPPORTS.

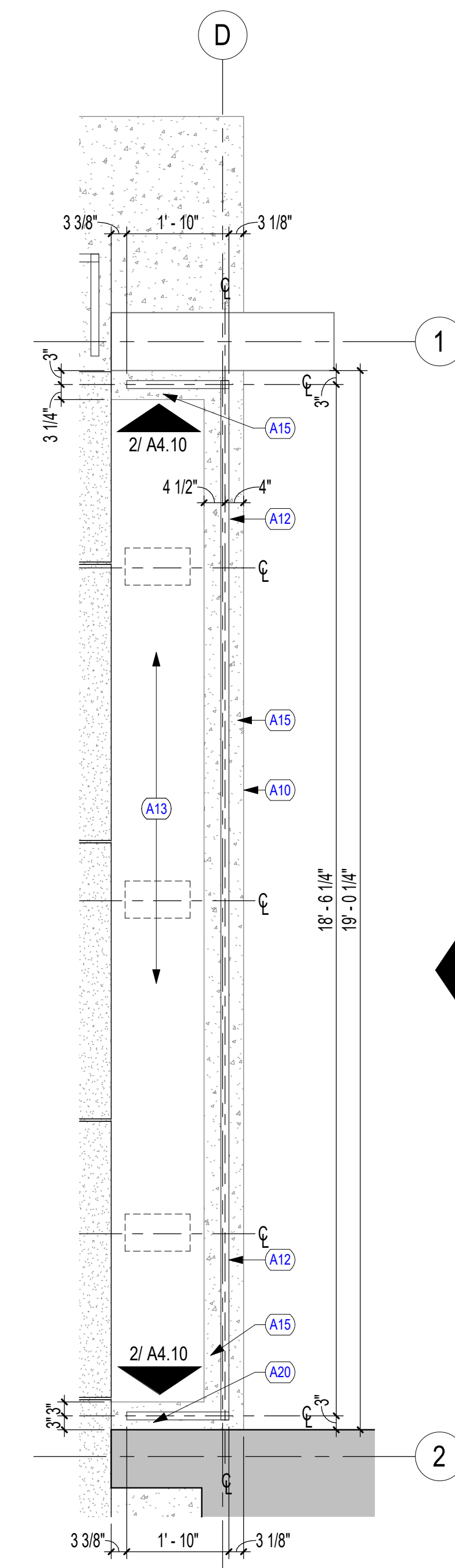


MESQUITE EVANS PARK REC CENTER ENTRANCE - NORTH GUARDRAIL ENLARGED

3
1/2" = 1'-0"



2 MESQUITE EVANS PARK REC CENTER ENTRANCE - WEST GUARDRAIL ENLARGED PLAN
1/2" = 1'-0"

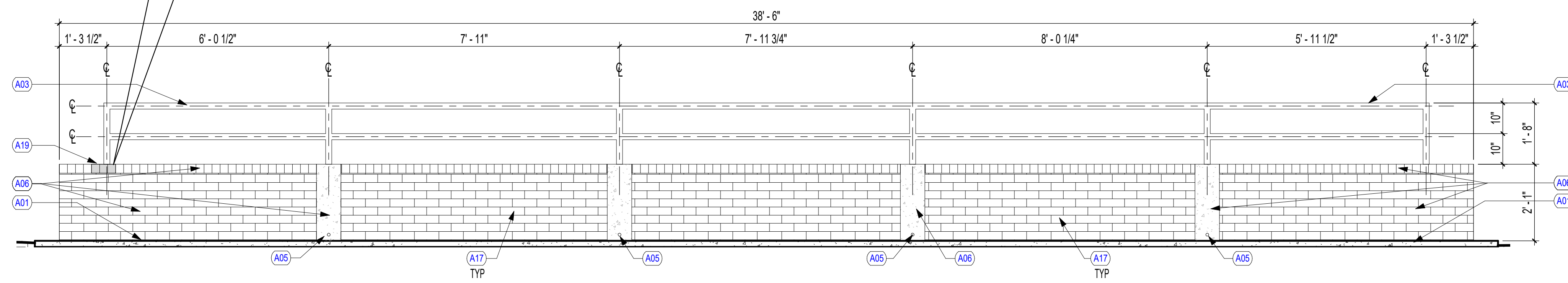


1 MESQUITE EVANS PARK REC CENTER ENTRANCE - EAST GUARDRAIL ENLARGED PLAN
1/2" = 1'-0"

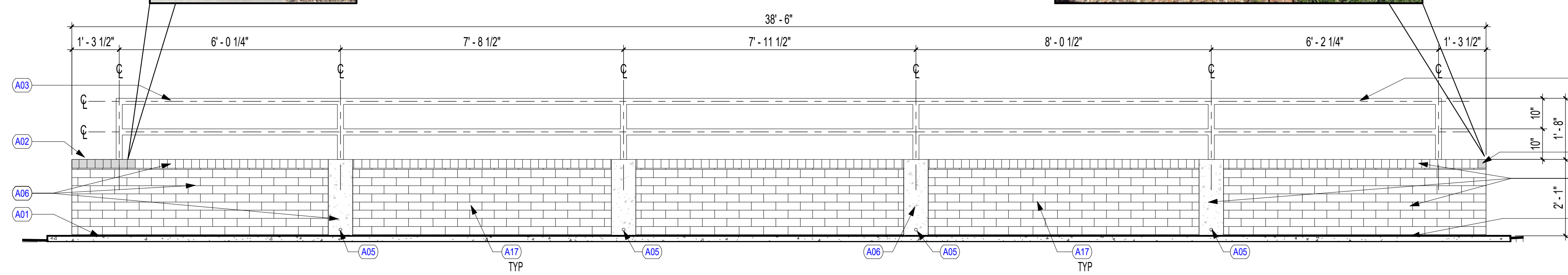
Revisions:

REV.	DATE	TITLE

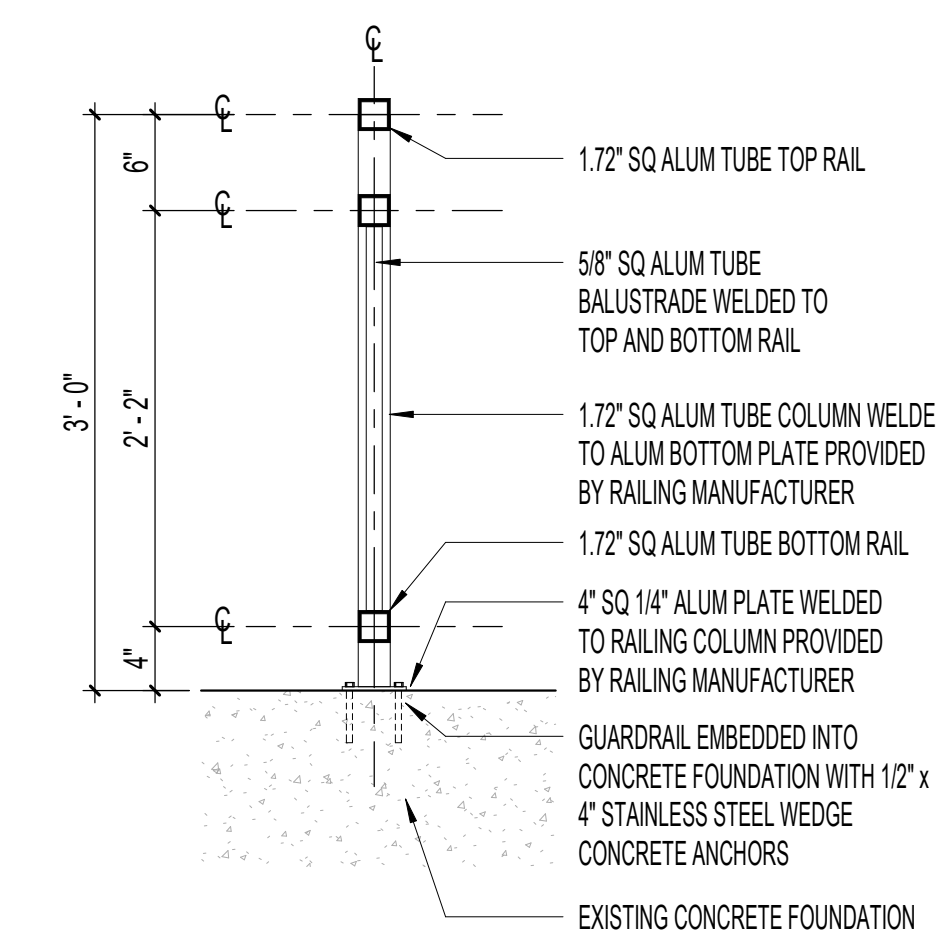
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ISSUED FOR PRICING
03/29/24
Project No.
3163
Drawn By:
Author
Checked By:
Checker
Sheet Title:
ENLARGED FLOOR PLANS
Drawing No.



9 EXISTING BRIDGE RAILING ELEVATION - WEST
1/2" = 1'-0"

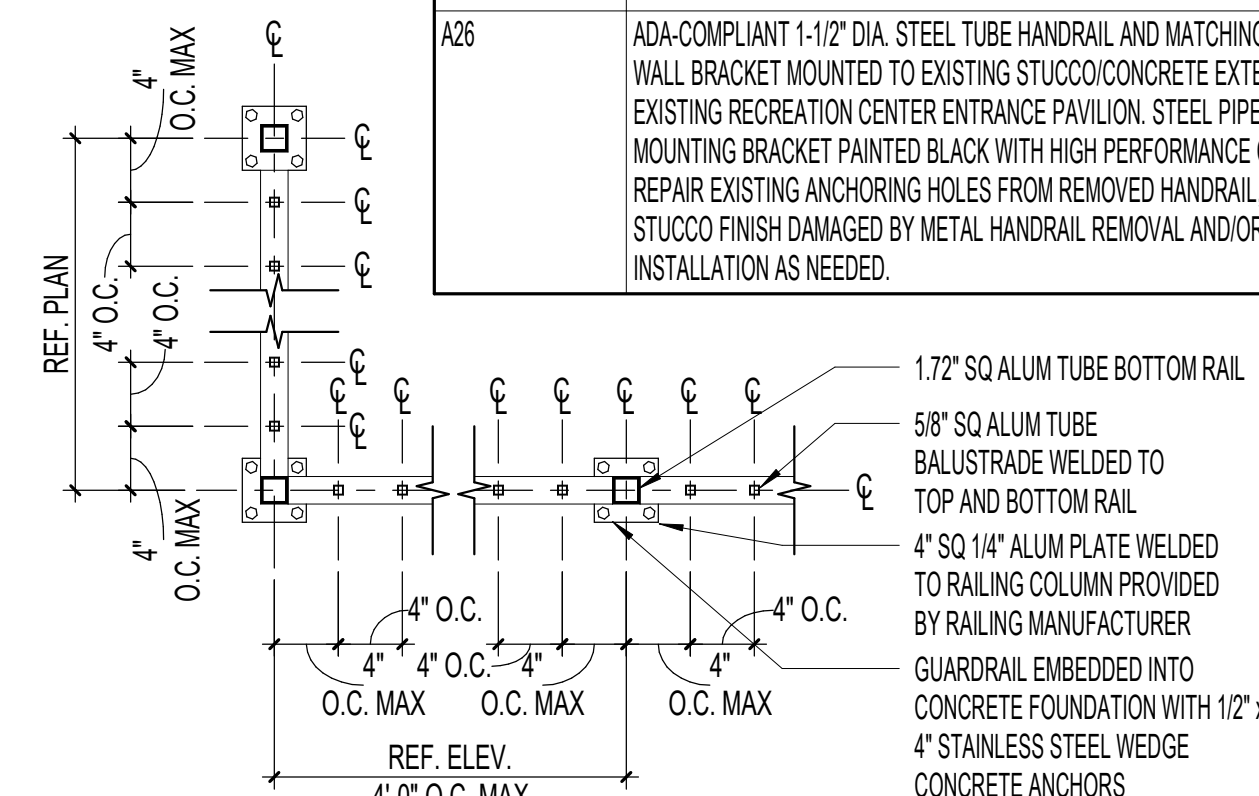


8 EXISTING BRIDGE RAILING ELEVATION - EAST
1/2" = 1'-0"



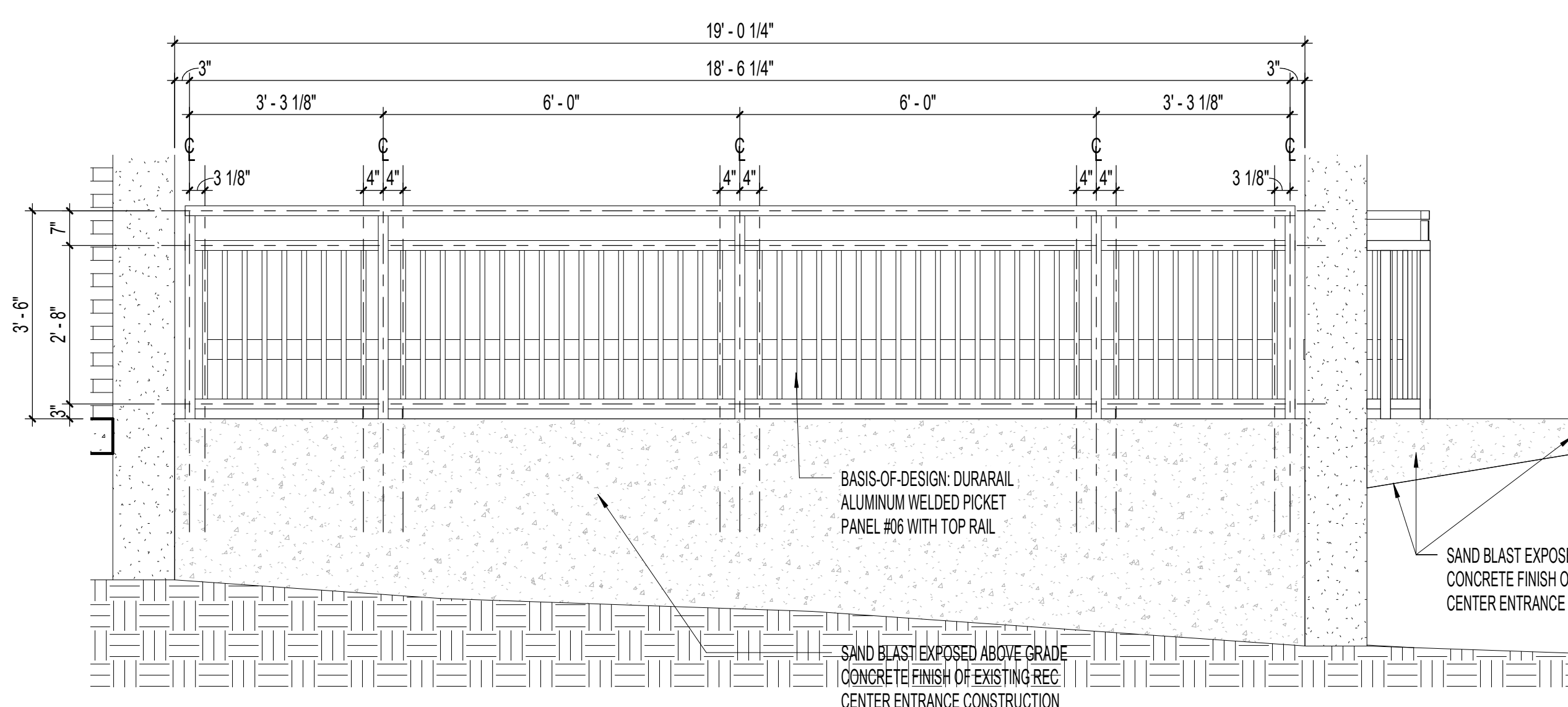
BASIS-OF-DESIGN: DURARAIL ALUMINUM WELDED PICKET PANEL #06 WITH TOP RAIL

6 GUARDRAIL SECTION
1" = 1'-0"

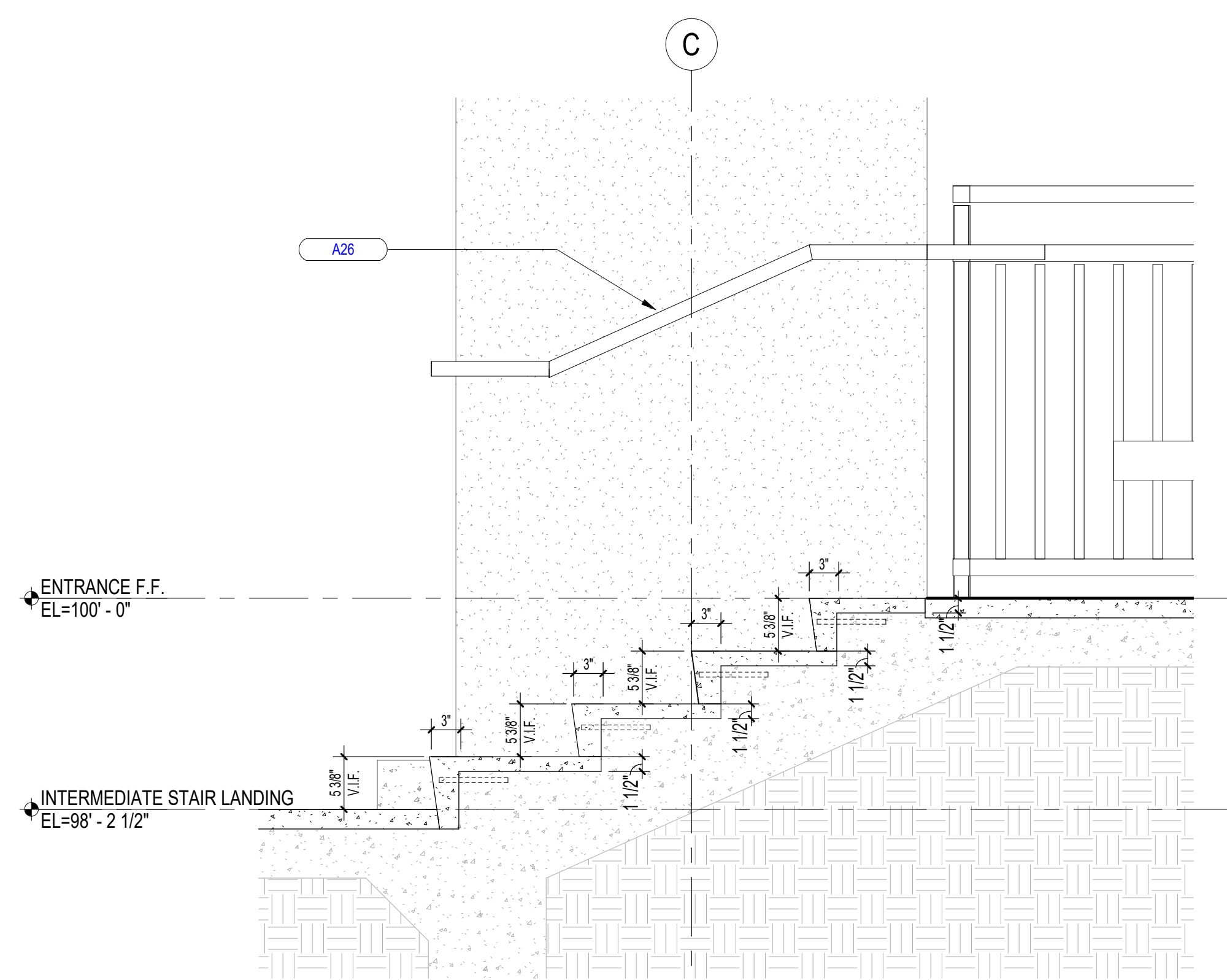


BASIS-OF-DESIGN: DURARAIL ALUMINUM WELDED PICKET PANEL #06 WITH TOP RAIL

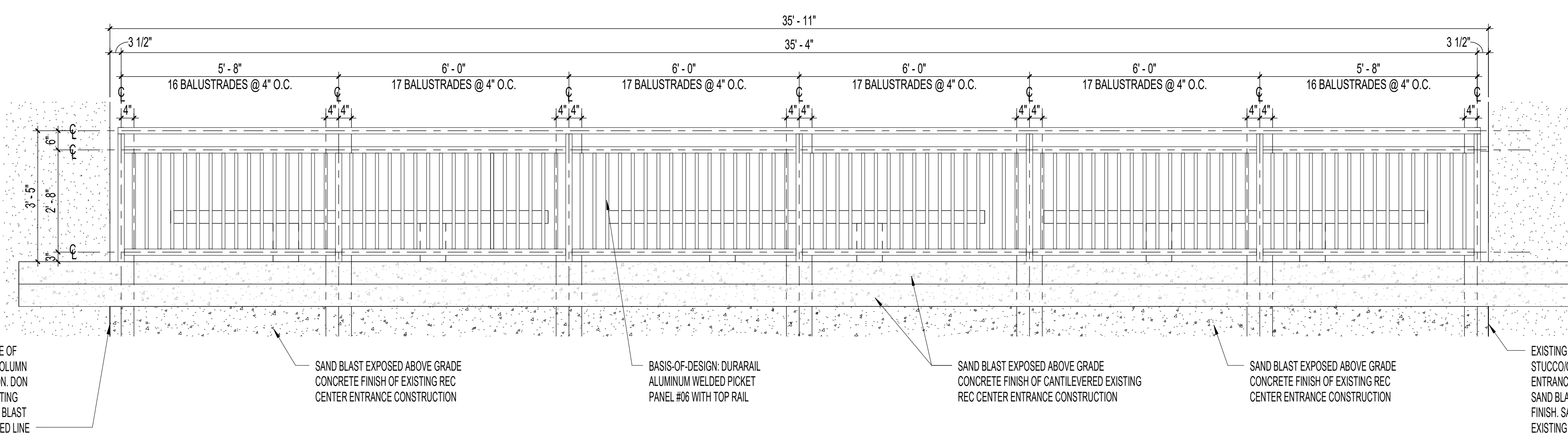
5 GUARDRAIL PLAN DETAIL
1" = 1'-0"



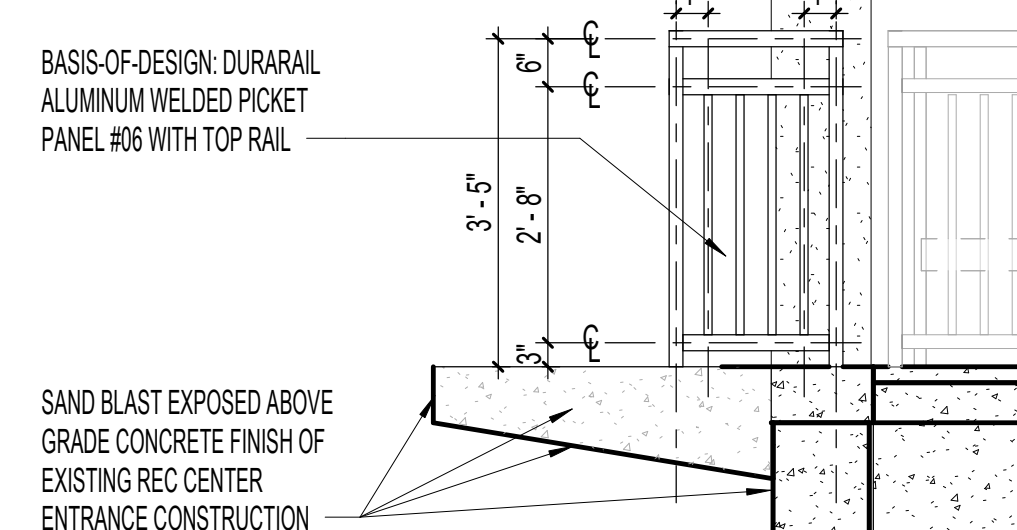
4 GUARDRAIL ELEVATION 4
1/2" = 1'-0"



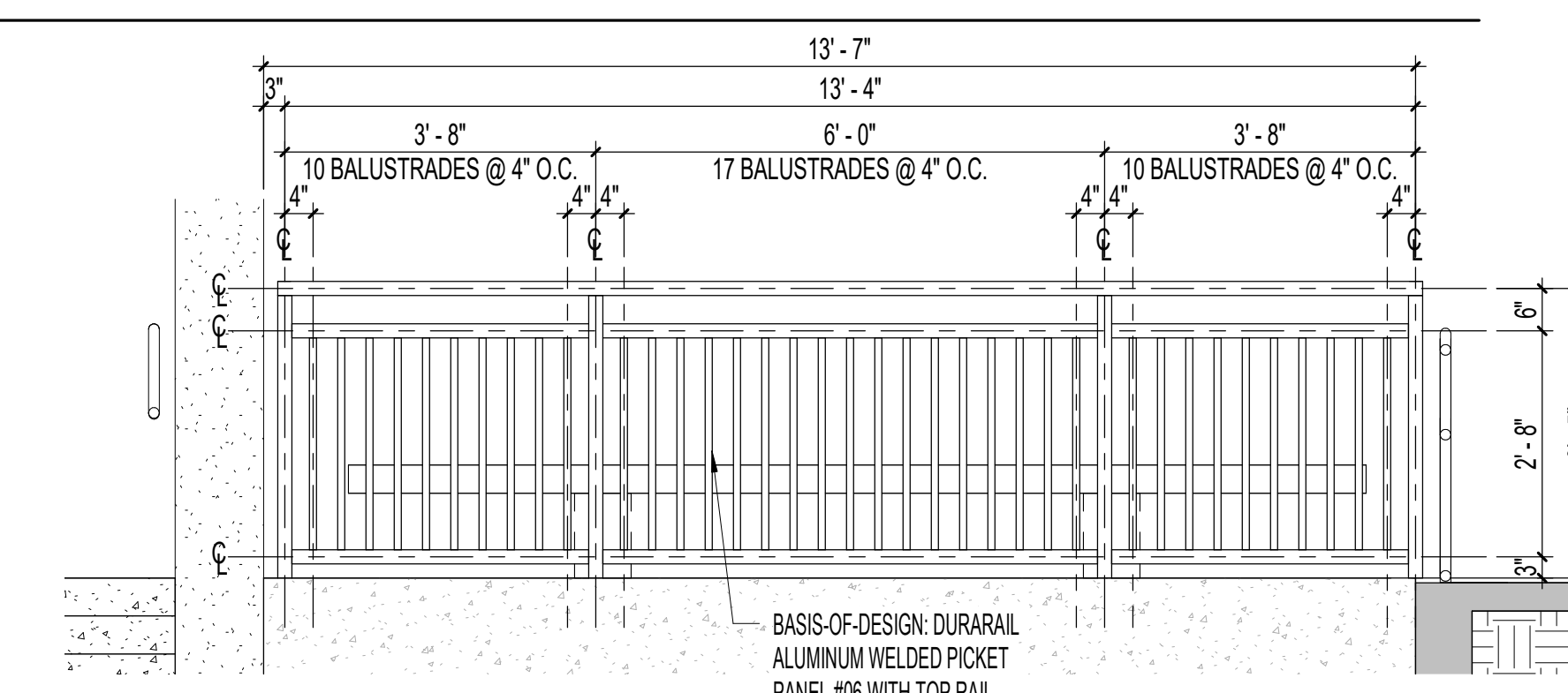
7 WALL SECTION 1 - INTERMEDIATE STAIR TREADS
1" = 1'-0"



3 GUARDRAIL ELEVATION 3
1/2" = 1'-0"



2 GUARDRAIL RETURN ELEVATION, TYP
1/2" = 1'-0"



1 GUARDRAIL ELEVATION 1
1/2" = 1'-0"

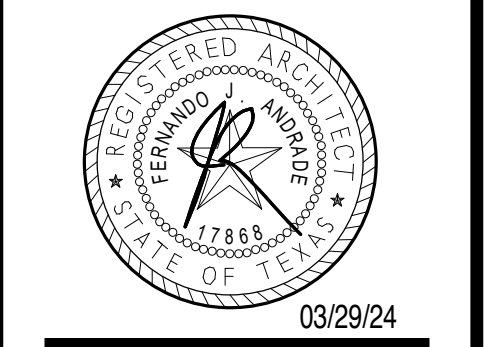
A01	2" CONCRETE TOPPING SLAB WITH BROOM FINISH. FINISH GRADE AND SLOPE OF NEW CONCRETE TO MATCH EXISTING.
A02	SALVAGE AND RE-MORTAR FIRST TEN (10) EXISTING HEADER COURSE BRICKS FROM TOP OF EXISTING BRIDGE BRICK WALL.
A03	PAINT EXISTING STEEL TUBE GUARDRAIL. CONTRACTOR SHALL LIGHTLY SAND AND REPAIR ANY IMPERFECTIONS BEFORE FINAL PAINTING.
A05	CONTRACTOR SHALL PROTECT EXISTING THRU-WALL WEEP HOLES.
A06	PRESSURE CLEAN EXISTING BRICK AND CONCRETE RETAINING WALLS OF BRIDGE CONSTRUCTION.
A17	INFILL & REPOINT EXISTING BRICK MASONRY WALL OF BRIDGE WALL CONSTRUCTION. CONTRACTOR SHALL REMOVE EXISTING OLD MORTAR FROM EXISTING BRICK MASONRY. EXISTING BRICKS SHALL BE PROTECTED FROM MORTAR REMOVAL. NEW MORTAR FOR REPOINTING SHALL MATCH EXISTING BRICK MORTAR TEXTURE, COLOR, HARDNESS, AND VAPOR PERMEABILITY. REPOINT AND EVENLY ALLOCATE THE MORTAR BETWEEN ALL JOINTS CLOSING THE VOIDS IN THE EXISTING MASONRY WALL. STRIKE AND FINISH EACH NEW MORTAR JOINT TO MATCH EXISTING MASONRY CONSTRUCTION.
A18	CLEAN EMPTY BRICK COURSE OF ANY LOOSE AND/OR DAMAGED BRICK MORTAR FOR NEW BRICK INSTALLATION. REPLACE EXISTING BROKEN BRICK TO MATCH EXISTING AND RE-MORTAR NEW BRICK TO MATCH EXISTING SOLDIER COURSE BRICK MASONRY CONSTRUCTION FROM TOP OF EXISTING BRIDGE BRICK WALL.
A19	REPLACE EXISTING BROKEN BRICK TO MATCH EXISTING. SALVAGE AND CLEAN OTHER TWO UNDAMAGED EXISTING BRICKS FOR REINSTALLATION. CLEAN EMPTY BRICK COURSES OF ANY LOOSE AND/OR DAMAGED BRICK MORTAR FOR NEW BRICK INSTALLATION. SALVAGE AND RE-MORTAR ALL THREE BRICKS BACK INTO EXISTING BRICK SOLDIER COURSE MASONRY CONSTRUCTION. REINSTALL EXISTING SALVAGED STEEL TUBE RAILING ANCHORS FROM BRICK WALL OF BRIDGE.
A26	ADA-COMPLIANT 1-1/2" DIA. STEEL TUBE HANDRAIL AND MATCHING STEEL HANDRAIL WALL BRACKET MOUNTED TO EXISTING STUCCO/CONCRETE EXTERIOR COLUMN OF EXISTING RECREATION CENTER ENTRANCE PAVILION. STEEL PIPE HANDRAIL AND MOUNTING BRACKET PAINTED BLACK WITH HIGH PERFORMANCE COATING. PATCH AND REPAIR EXISTING ANCHORING HOLES FROM REMOVED HANDRAIL, AND EXISTING STUCCO FINISH DAMAGED BY METAL HANDRAIL REMOVAL AND/OR NEW HANDRAIL INSTALLATION AS NEEDED.

MESQUITE EVANS PARK RECREATION CENTER ENTRANCE IMPROVEMENTS
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gsr | andrade ARCHITECTS

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P 214.824.7040
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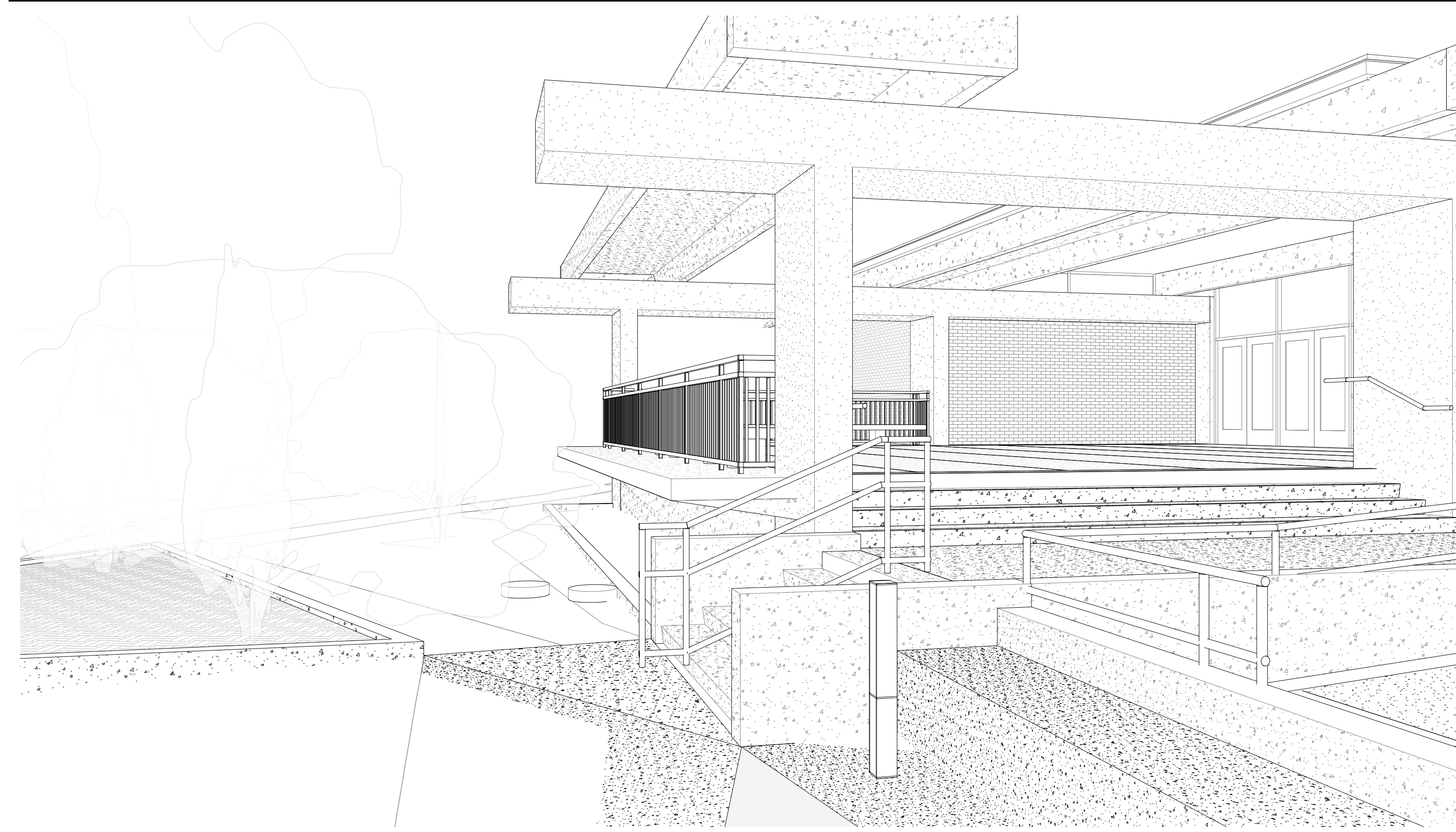


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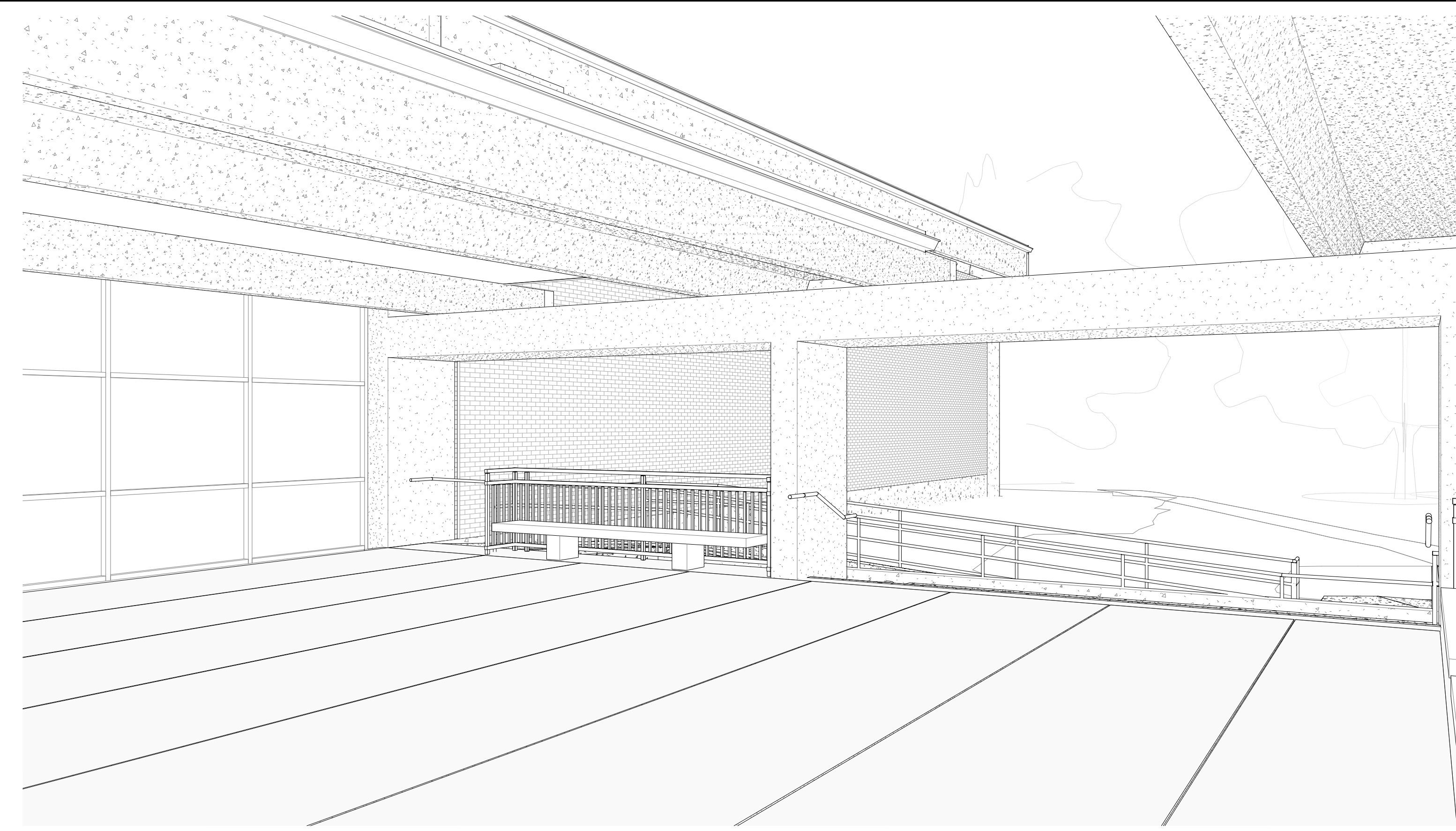
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A4.10



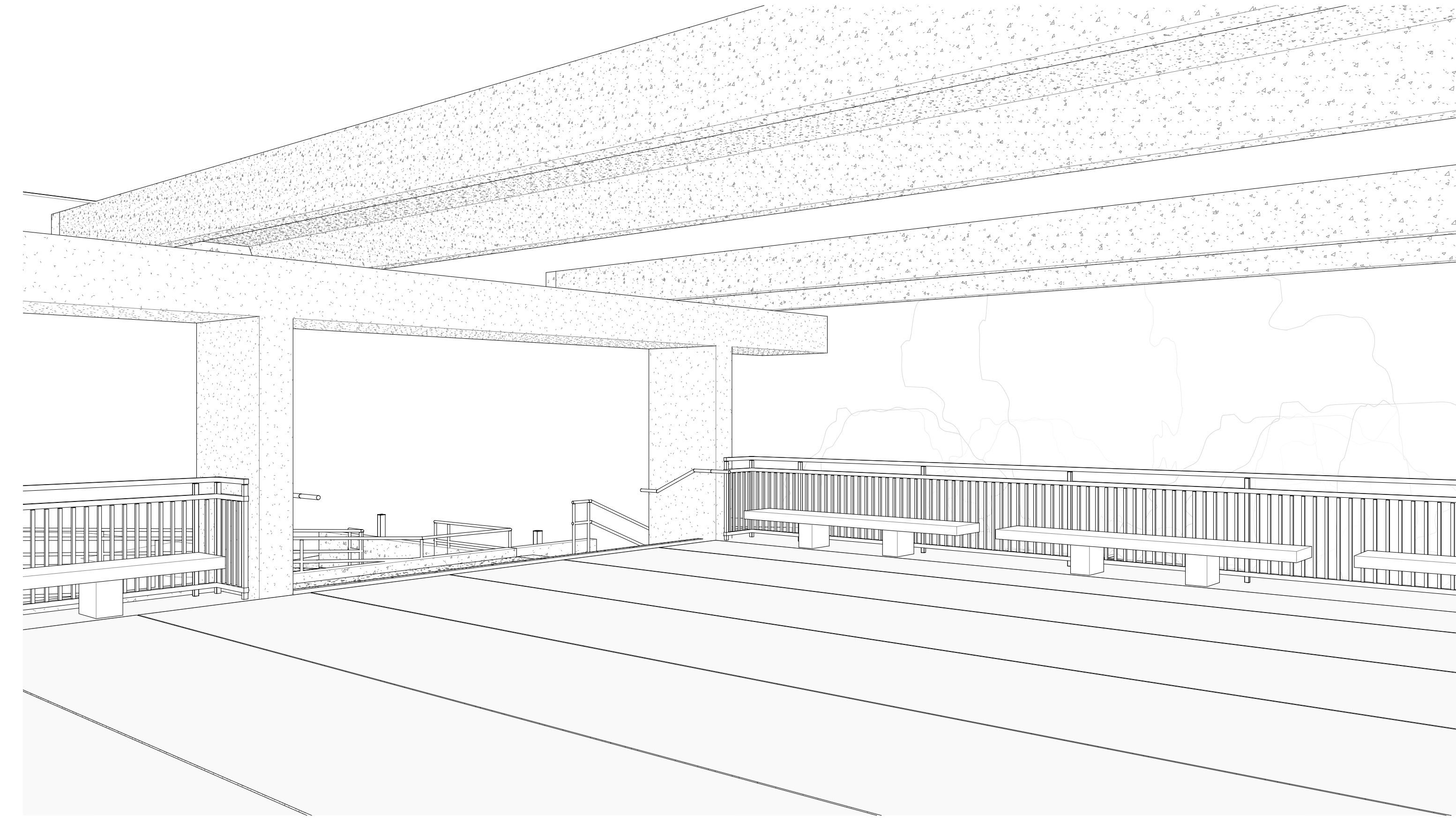
6 BIKE RACK PERSPECTIVE



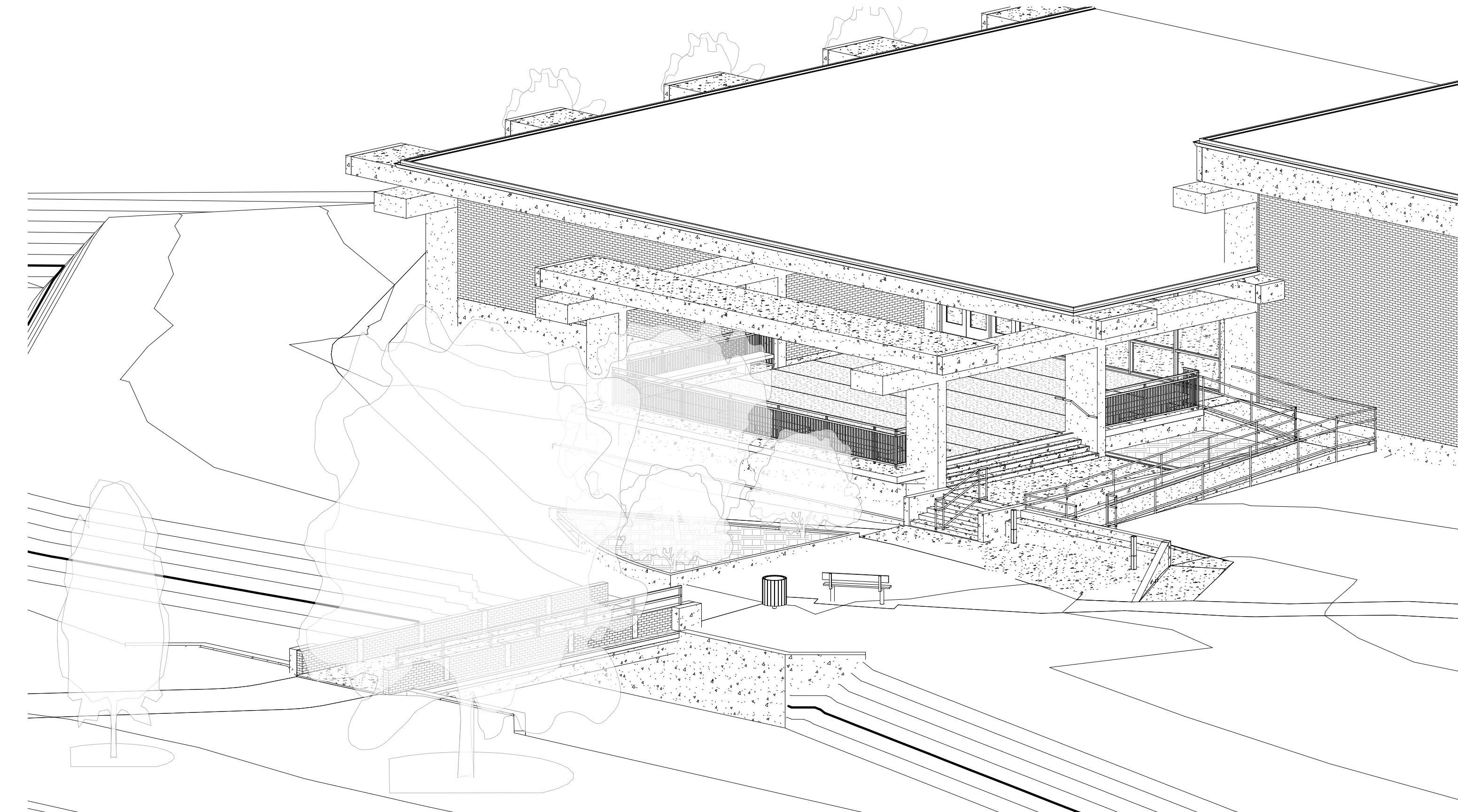
5 ENTRANCE BENCH PERSPECTIVE



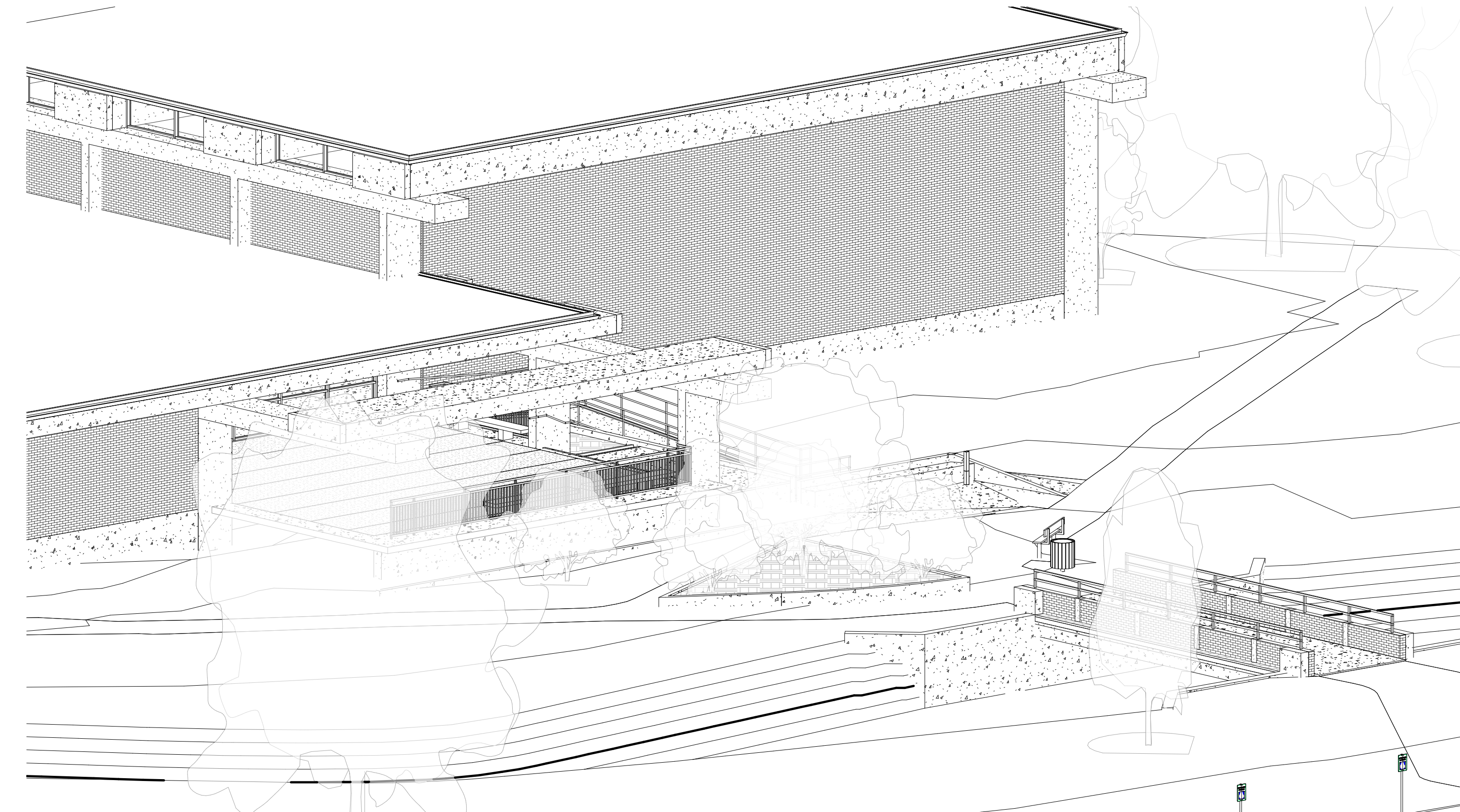
4 STAIR LANDING PERSPECTIVE



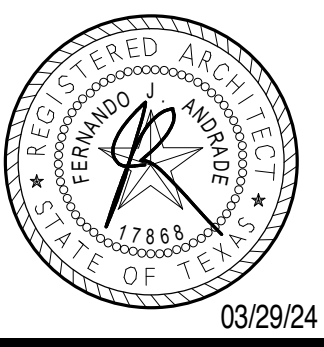
3 FRONT DOOR ENTRANCE PERSPECTIVE



2 NORTHWEST PERSPECTIVE



1 NORTHEAST PERSPECTIVE



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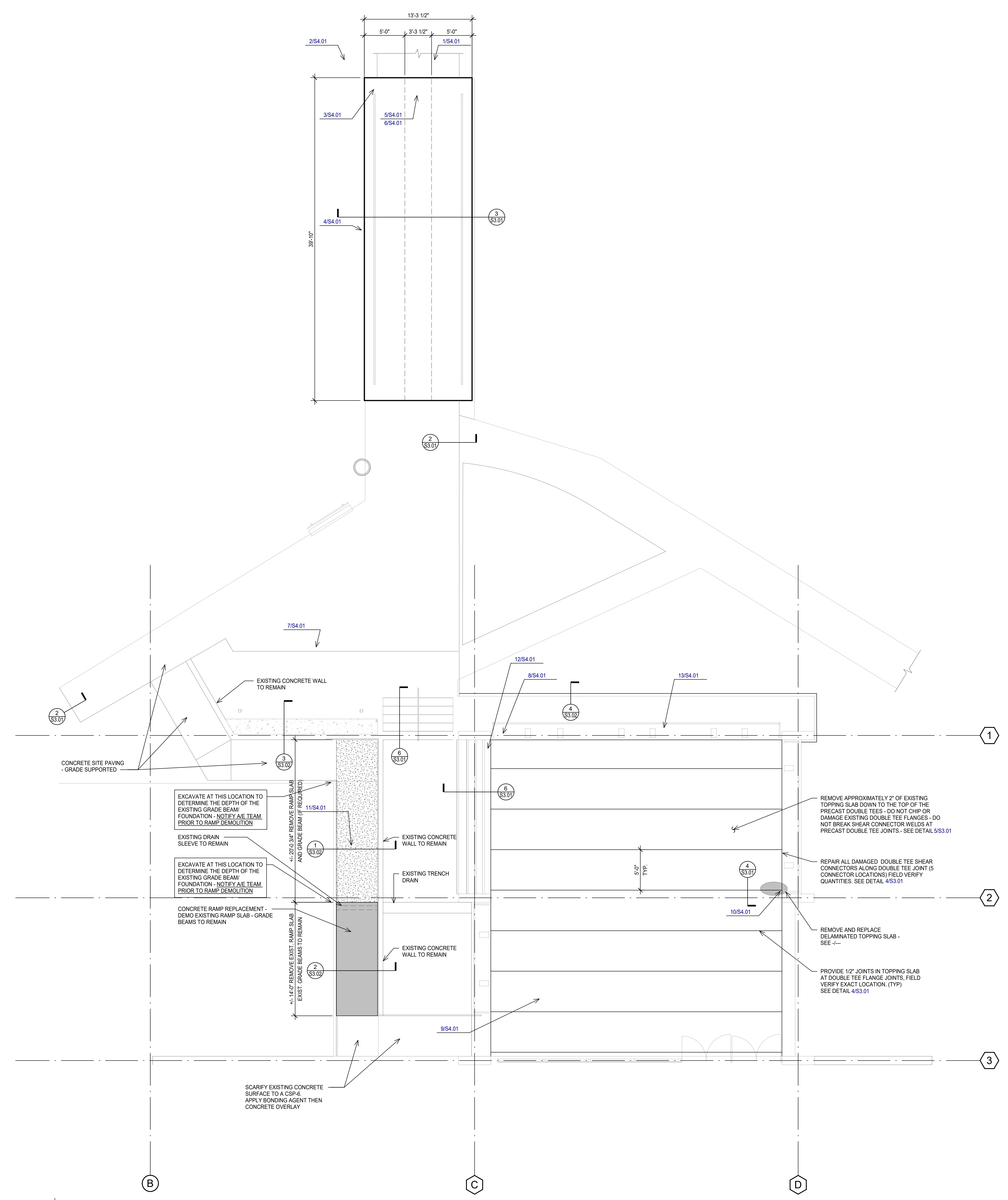
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 ENTRANCE PLAN

Drawing No.
 S2.01

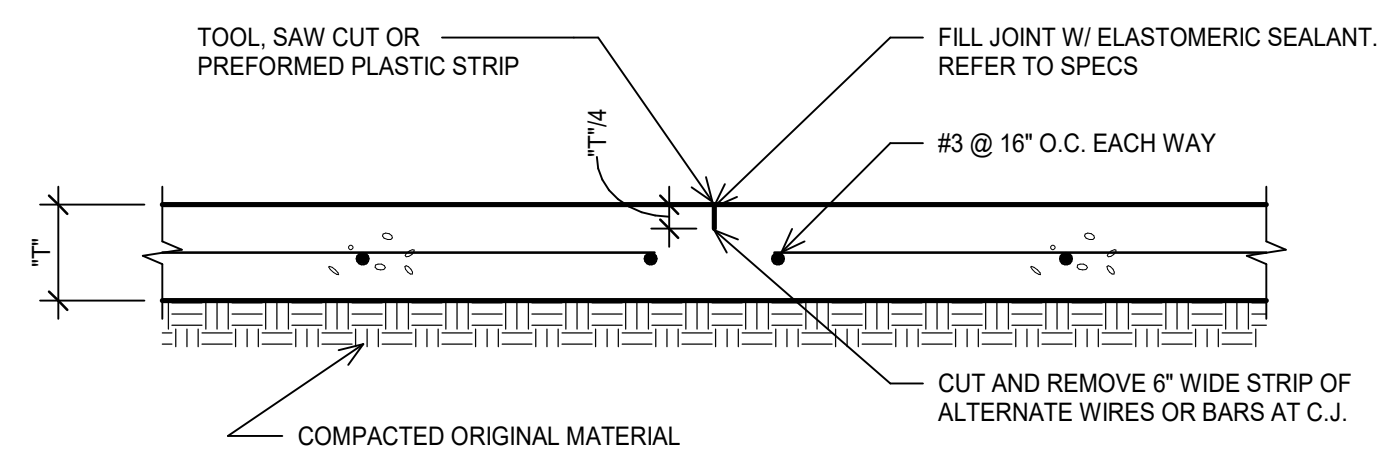


1 ENTRANCE PLAN
 SCALE: 3/16" = 1'-0"

JQ HAS ATTEMPTED BY VISUAL OBSERVATION AND STUDY OF ORIGINAL CONSTRUCTION DOCUMENTS TO DETERMINE EXISTING DIMENSIONS, THE CONDITION OF VARIOUS STRUCTURAL ELEMENTS AND EXISTING CONDITIONS.

HOWEVER, AS SOME CONDITIONS CANNOT BE DETERMINED UNTIL AFTER DEMOLITION OF THE EXISTING BUILDING FINISHES, THE CONTRACTOR MUST CONSIDER AND ALLOW FOR THE FACT THAT DIMENSIONS, THE CONDITION OF STRUCTURAL ELEMENTS, AND DETAIL CONDITIONS MAY BE DIFFERENT FROM THOSE SHOWN ON THESE DRAWINGS.

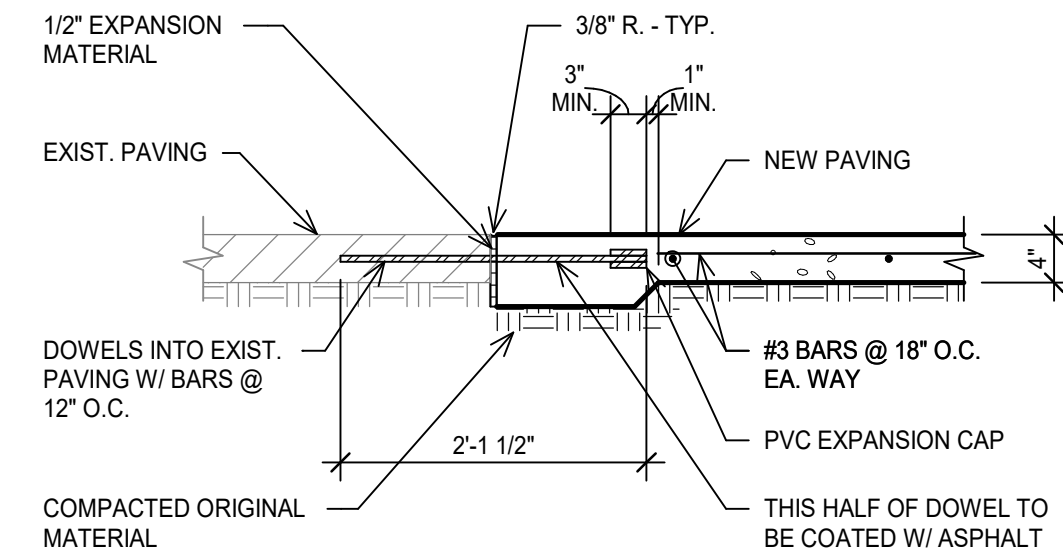
NOTIFY ENGINEER WHERE CONDITIONS ARE DIFFERENT FROM THOSE SHOWN ON THESE DRAWINGS.



NOTES:

1. COMPACT TO A DENSITY OF NOT LESS THAN 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D698 AT A MOISTURE CONTENT WITHIN 2 PERCENT BELOW TO 4 PERCENT ABOVE THE OPTIMUM MOISTURE CONTENT.
2. MAX CONTROL JOINT SPACING NOT TO EXCEED 8'-0". SEE ARCH'L PLAN FOR CONTROL SPACING.

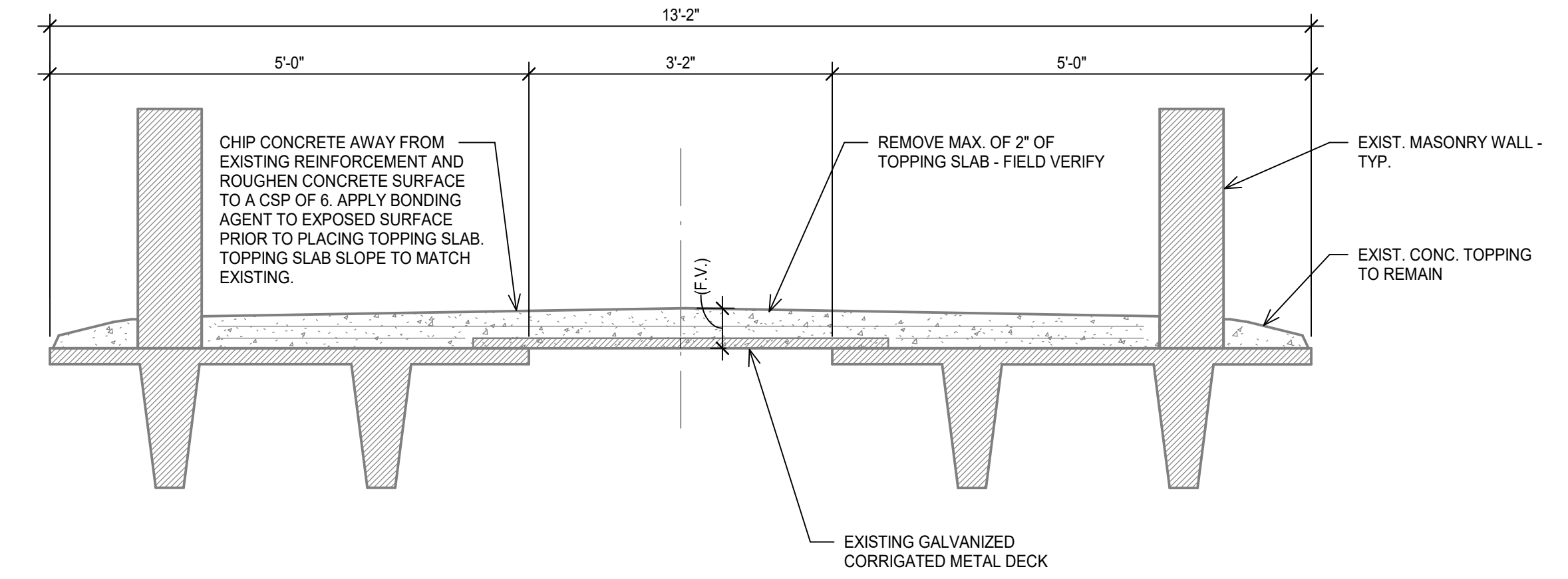
1 TYPICAL SITE PAVING CONTROL JOINT DETAIL
NO SCALE



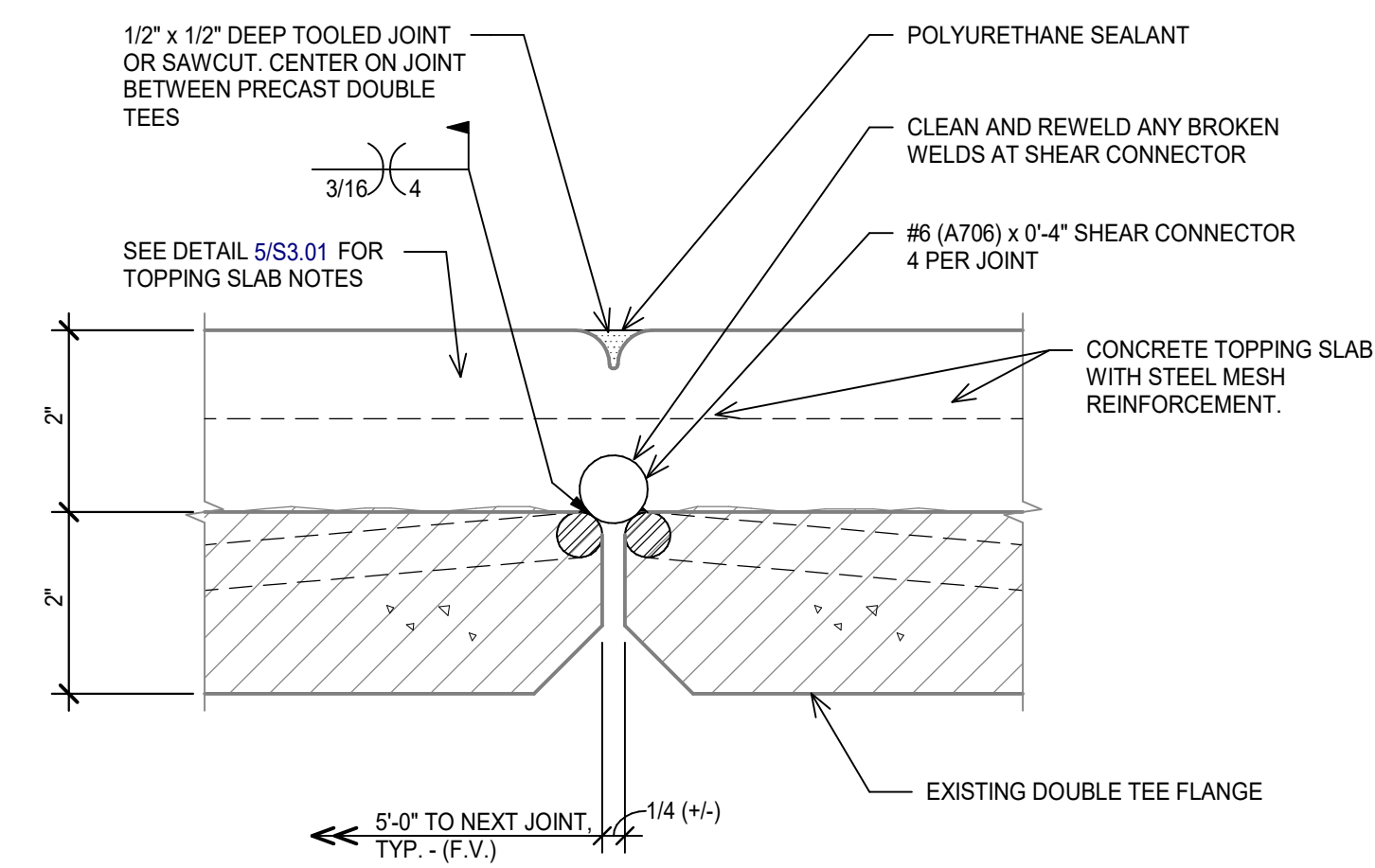
NOTES:

1. COMPACT TO A DENSITY OF NOT LESS THAN 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D698 AT A MOISTURE CONTENT WITHIN 2 PERCENT BELOW TO 4 PERCENT ABOVE THE OPTIMUM MOISTURE CONTENT.

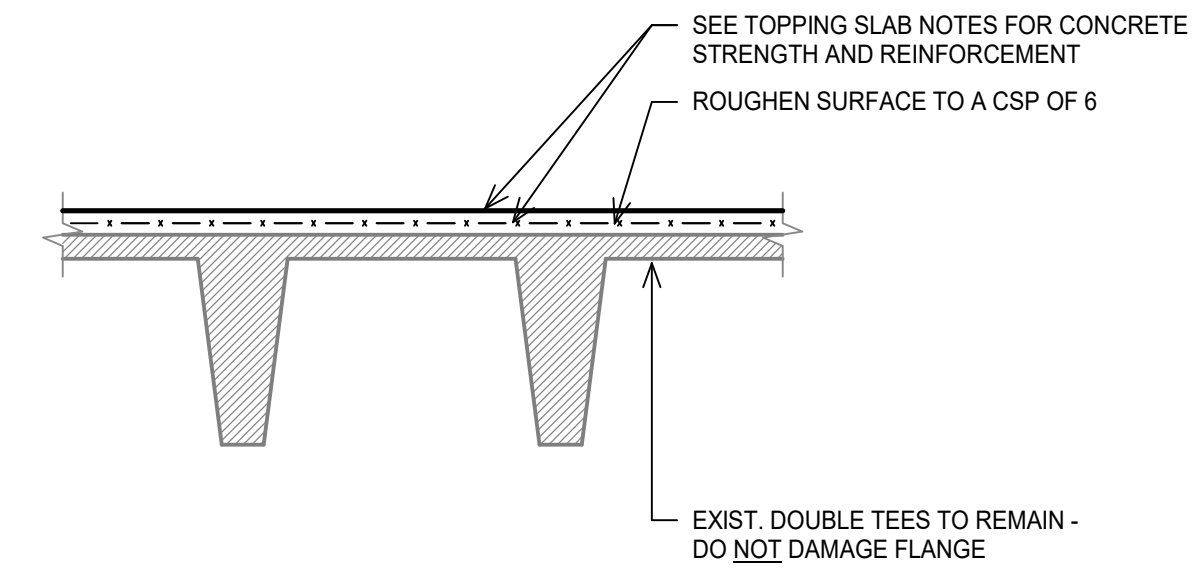
2 EXISTING PAVING TO PROPOSED PAVING
NO SCALE



3 BRIDGE SECTION
NO SCALE



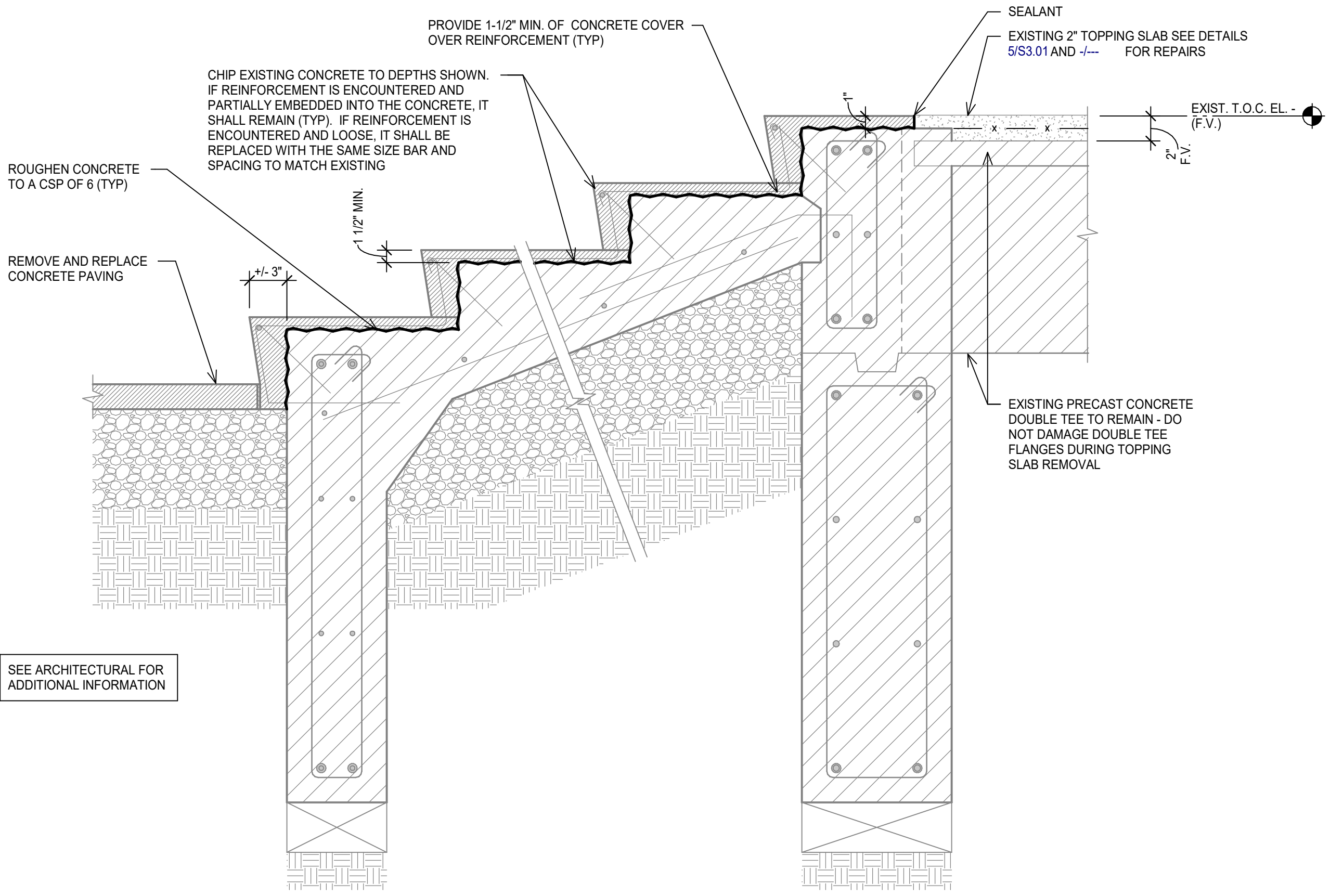
4 DOUBLE TEE TO DOUBLE TEE SHEAR CONNECTION REPAIR AND CONTROL JOINT
NO SCALE



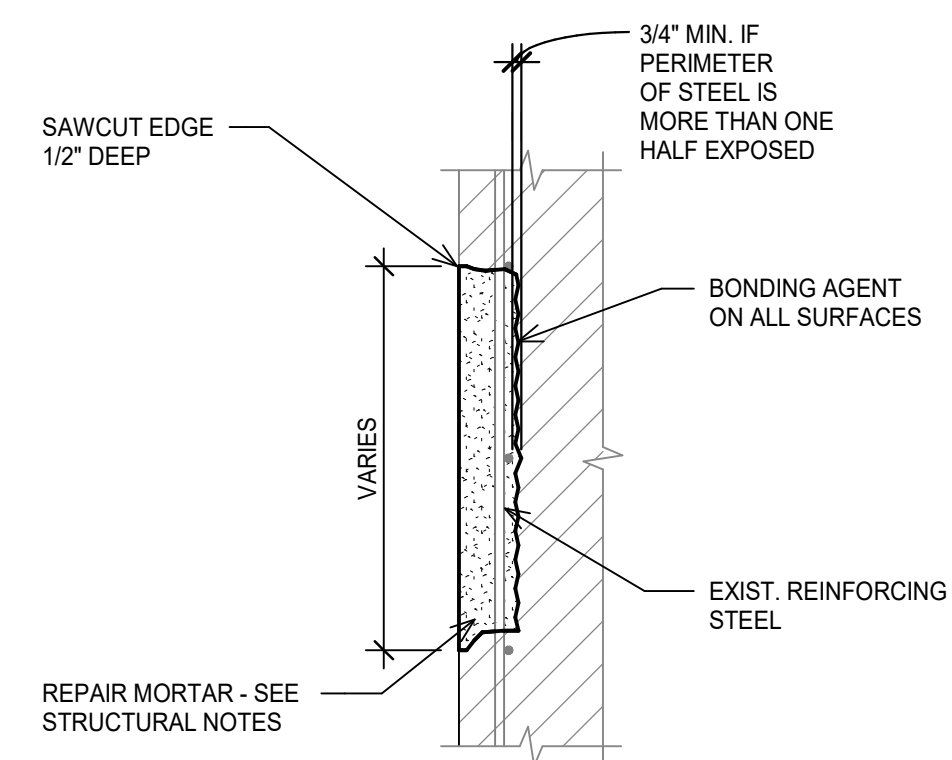
TOPPING SLAB NOTES

1. REMOVE EXISTING DELAMINATED TOPPING SLAB A MAXIMUM OF 2". EXISTING CONCRETE SHALL HAVE A ROUGHEN SURFACE TO A CSP OF 6.
2. DO NOT CHIP OR DAMAGE EXISTING DOUBLE TEE FLANGES.
3. SEE TOPPING SLAB STRUCTURAL NOTES FOR REINFORCEMENT BARS.
4. REPAIR ANY BROKEN SHEAR CONNECTORS. SEE DETAIL 4/S3.01
5. APPLY BONDING AGENT TO EXISTING CONCRETE DOUBLE TEES AND ANY EXPOSED REINFORCEMENT / MESH.
6. PROVIDE A BROOM FINISH ON BRIDGE TOPPING SLAB

5 TOPPING SLAB RELACEMENT DETAIL
NO SCALE



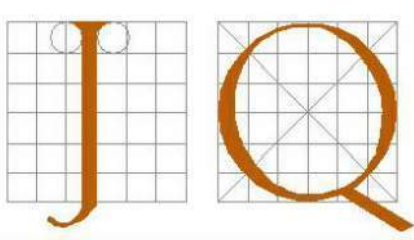
6 STAIR SECTION
NO SCALE



NOTES:

1. PROTECT EXISTING REINFORCEMENT FROM DAMAGE DURING CHIPPING, GRINDING OR SAW CUTTING.
2. SEE STRUCTURAL NOTES FOR CLEANING AND COATING OF ALL EXPOSED REINFORCEMENT.
3. WHERE REINFORCEMENT THAT IS EXPOSED DURING SURFACE PREPARATION IS FOUND TO BE SEVERELY CORRODED OR HAS LOST 10% OR MORE OF ITS CROSS SECTIONAL AREA, SUPPLEMENTARY REINFORCEMENT MAY BE REQUIRED. NOTIFY ENGINEER FOR REVIEW AND DESIGN OF SUPPLEMENTARY REINFORCEMENT.
4. FINISH OF REPAIR MORTAR SHALL MATCH ADJACENT EXISTING CONCRETE.

7 TYPICAL CONCRETE REPAIR AT VERTICAL SURFACES
NO SCALE



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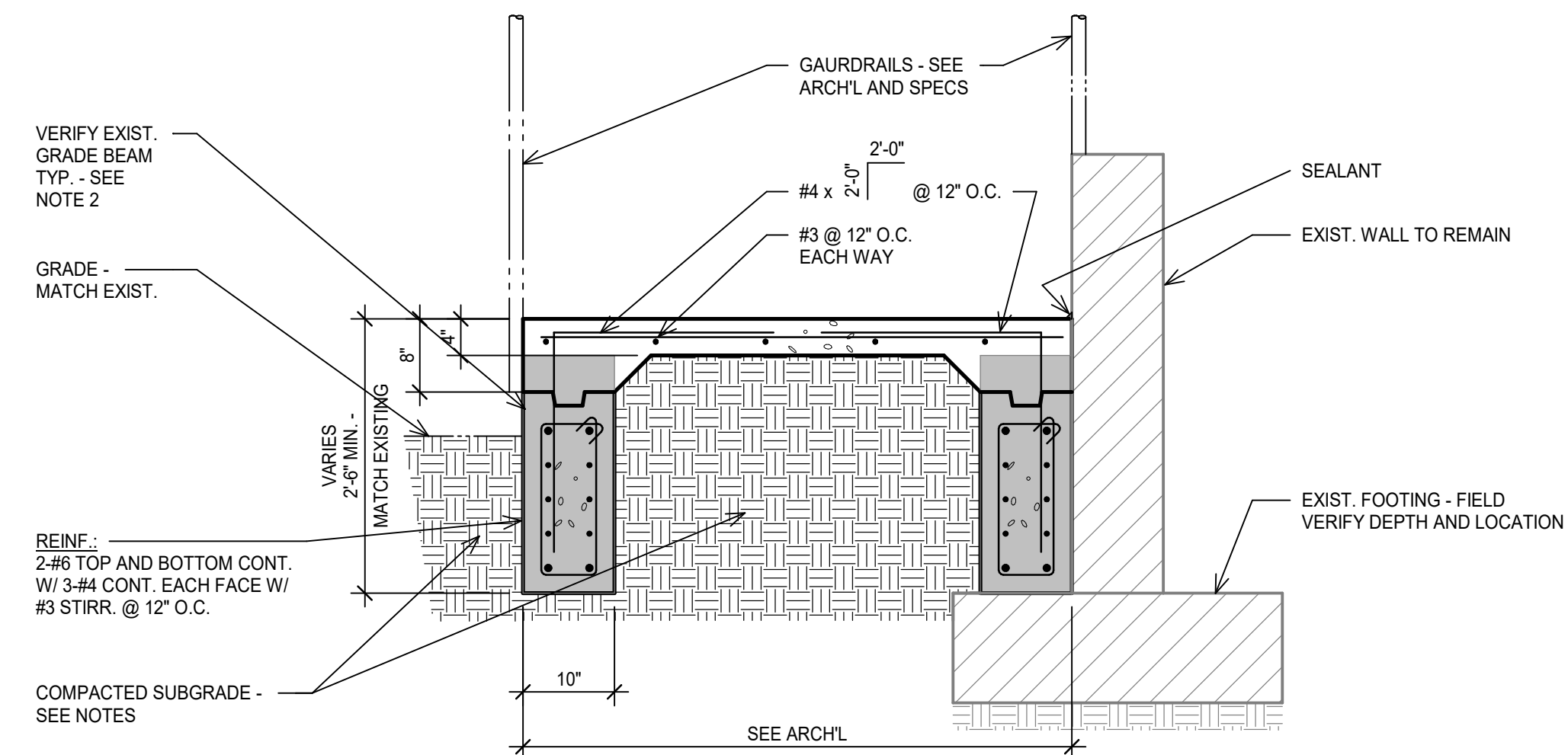


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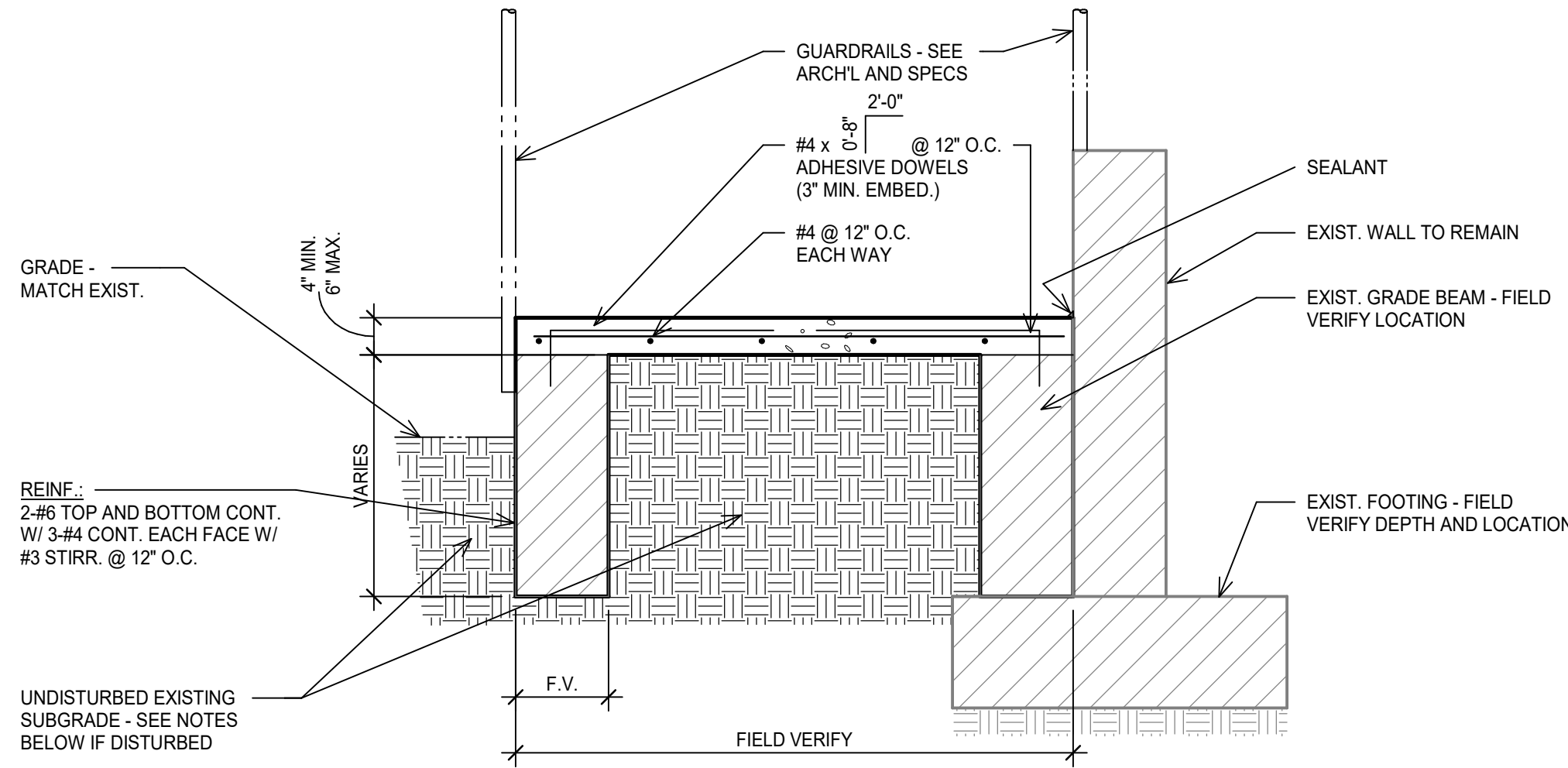
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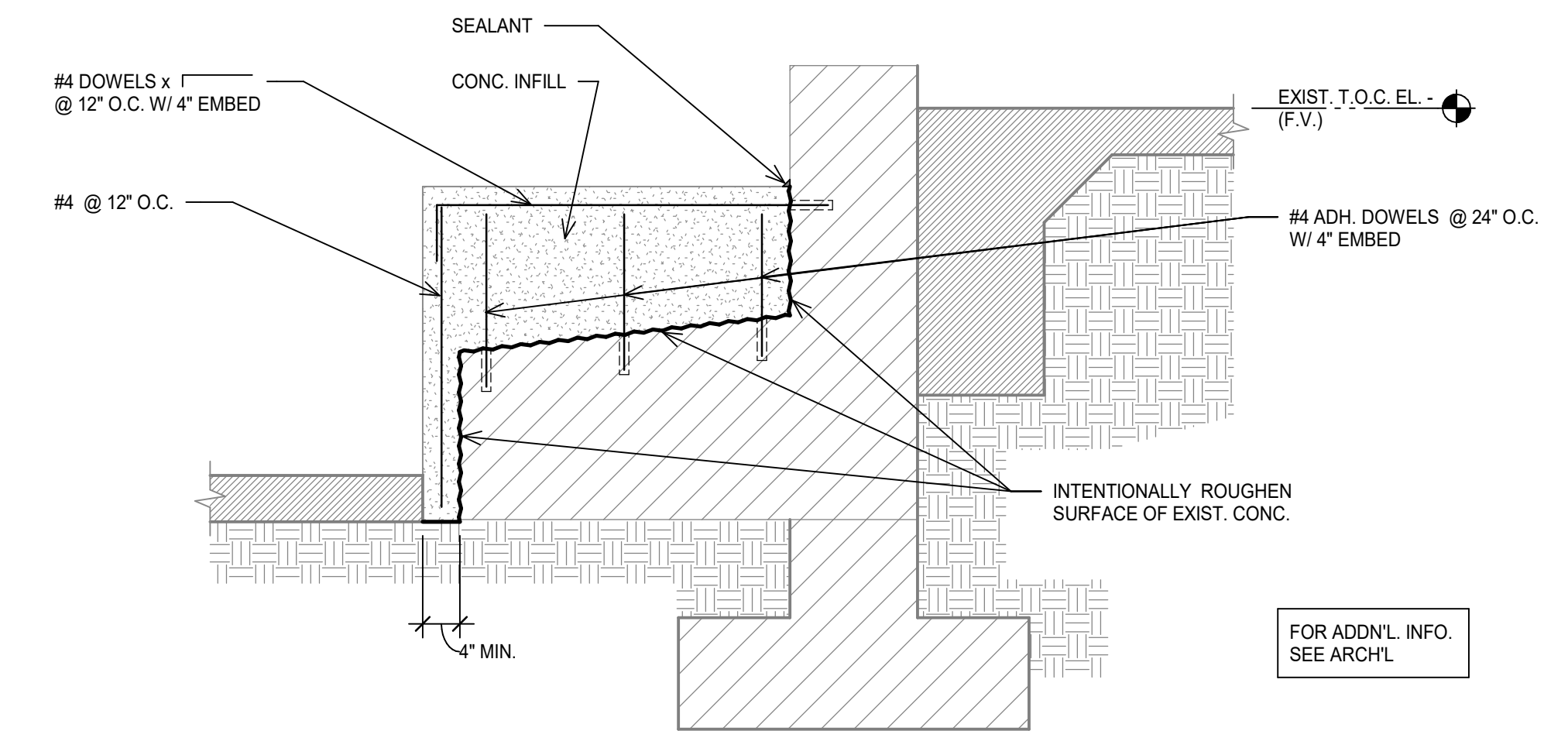
- NOTES**
1. COMPACTED ORIGINAL MATERIAL: COMPACT TO A DENSITY OF NOT LESS THAN 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D698 AT A MOISTURE CONTENT WITHIN 2 PERCENT BELOW TO 4 PERCENT ABOVE THE OPTIMUM MOISTURE CONTENT.
 2. VERIFY PRESENCE, CONDITION AND DEPTH OF EXISTING GRADE BEAM FOR POSSIBLE REUSE. NOTIFY A/E TEAM ONCE THE EXISTING HORIZONTAL RAMP SLAB PORTION IS REMOVED SO THAT EXISTING GRADE BEAM CAN BE OBSERVED.

1 NEW RAMP SECTION
SCALE: 3/4" = 1'-0"

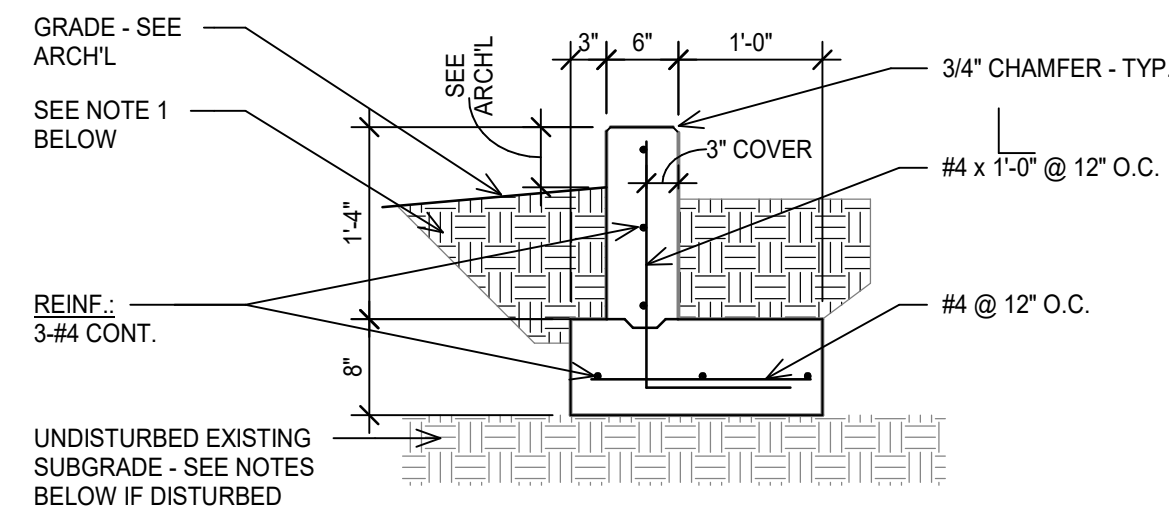


- NOTES**
1. COMPACTED ORIGINAL MATERIAL: COMPACT TO A DENSITY OF NOT LESS THAN 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D698 AT A MOISTURE CONTENT WITHIN 2 PERCENT BELOW TO 4 PERCENT ABOVE THE OPTIMUM MOISTURE CONTENT.

2 RAMP SLAB REPLACEMENT SECTION
SCALE: 3/4" = 1'-0"



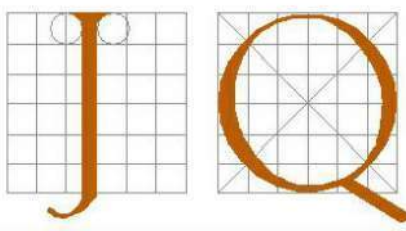
3 BIKE RACK REPAIR DETAIL
SCALE: 3/4" = 1'-0"



- NOTES**
1. COMPACTED ORIGINAL MATERIAL: COMPACT TO A DENSITY OF NOT LESS THAN 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D698 AT A MOISTURE CONTENT WITHIN 2 PERCENT BELOW TO 4 PERCENT ABOVE THE OPTIMUM MOISTURE CONTENT.

4 CURB SECTION
SCALE: 3/4" = 1'-0"

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Drawing No.

S3.02



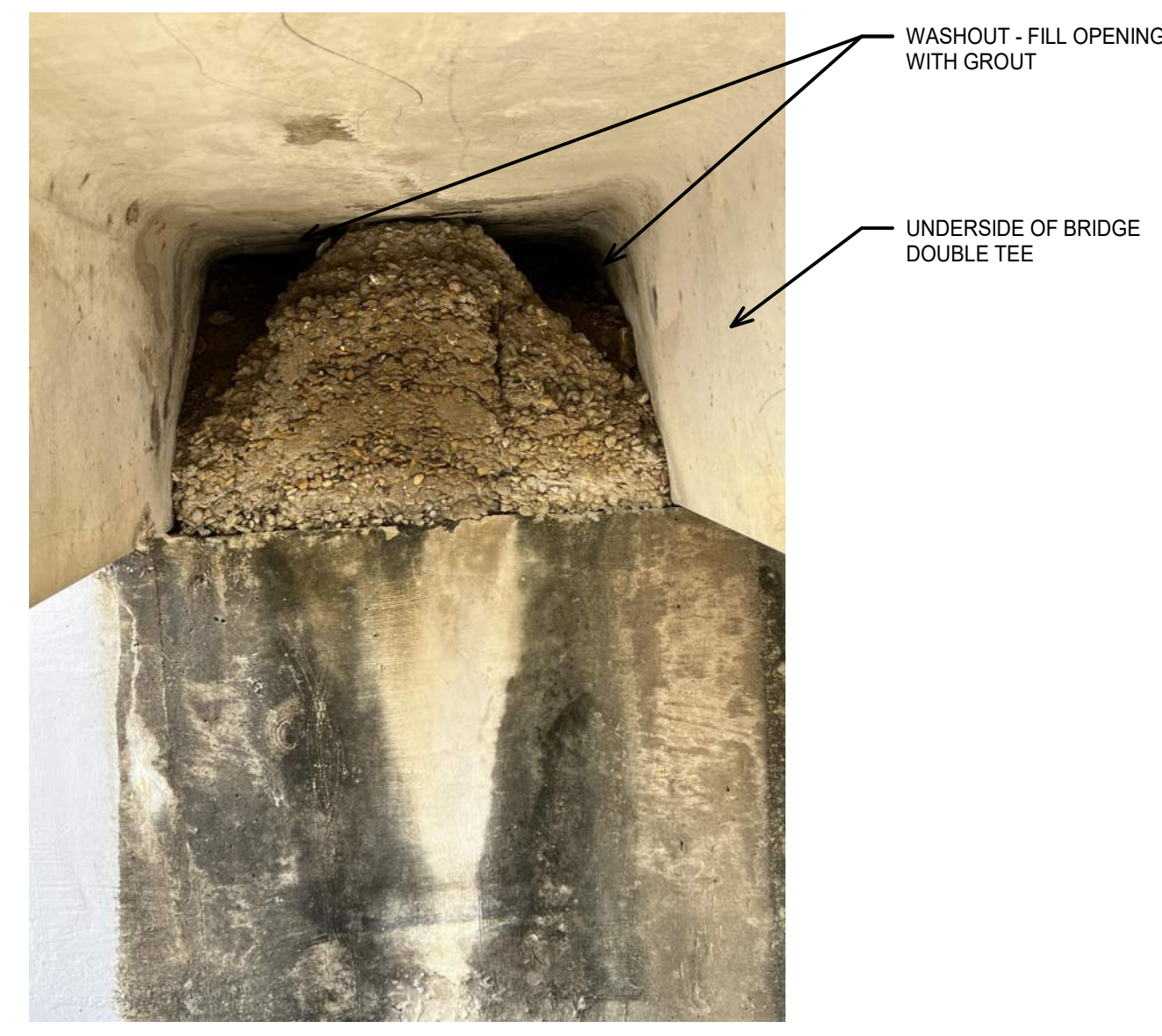
REMOVE MIN. 2" OF CONCRETE TOPPING SEE DETAIL 3/S3.01

1 OVERVIEW LOOKING SOUTH
NO SCALE



CONCRETE TOPPING ON OUTSIDE EDGE OF BRIDGE TO REMAIN

2 BRIDGE OVER DRAINAGE WAY
NO SCALE



WASHOUT - FILL OPENINGS WITH GROUT
UNDERSIDE OF BRIDGE DOUBLE TEE

3 UNDERSIDE OF BRIDGE DOUBLE TEE
NO SCALE



CONCRETE SPALL AT BRIDGE DOUBLE TEE SEE DETAIL 7/S3.01

4 BRIDGE DOUBLE TEE
NO SCALE



REPLACE DETERIORATED METAL DECKING AT NORTH END OF BRIDGE - MATCH EXISTING DECK PROFILE AND GAUGE

5 UNDERSIDE OF BRIDGE NORTH END
NO SCALE



6 DETERIORATED BRIDGE DECKING
NO SCALE



EXISTING CONCRETE BIKE RACK. ROUGHEN CONCRETE SURFACE TO A CSP OF 6. ENCASE WITH CONCRETE. - SEE DETAIL 3/S3.02

7 EXISTING BIKE RACK AND PAVING
NO SCALE



EXPOSED REINFORCEMENT. REMOVE CORROSION AND LOOSE OR DAMAGED CONCRETE. COAT REINFORCEMENT WITH RUST INHIBITOR. APPLY CONCRETE REPAIR MORTAR. SEE DETAIL 7/S3.01 AND STRUCTURAL NOTES S1.01.

8 ENTRANCE DECK OVERHANG
NO SCALE



DELAMINATED EXPOSED AGGREGATE TOPPING SLAB TO BE REMOVED - DO NOT DAMAGE DOUBLE TEE FLANGES. SEE DETAIL 6/S3.01

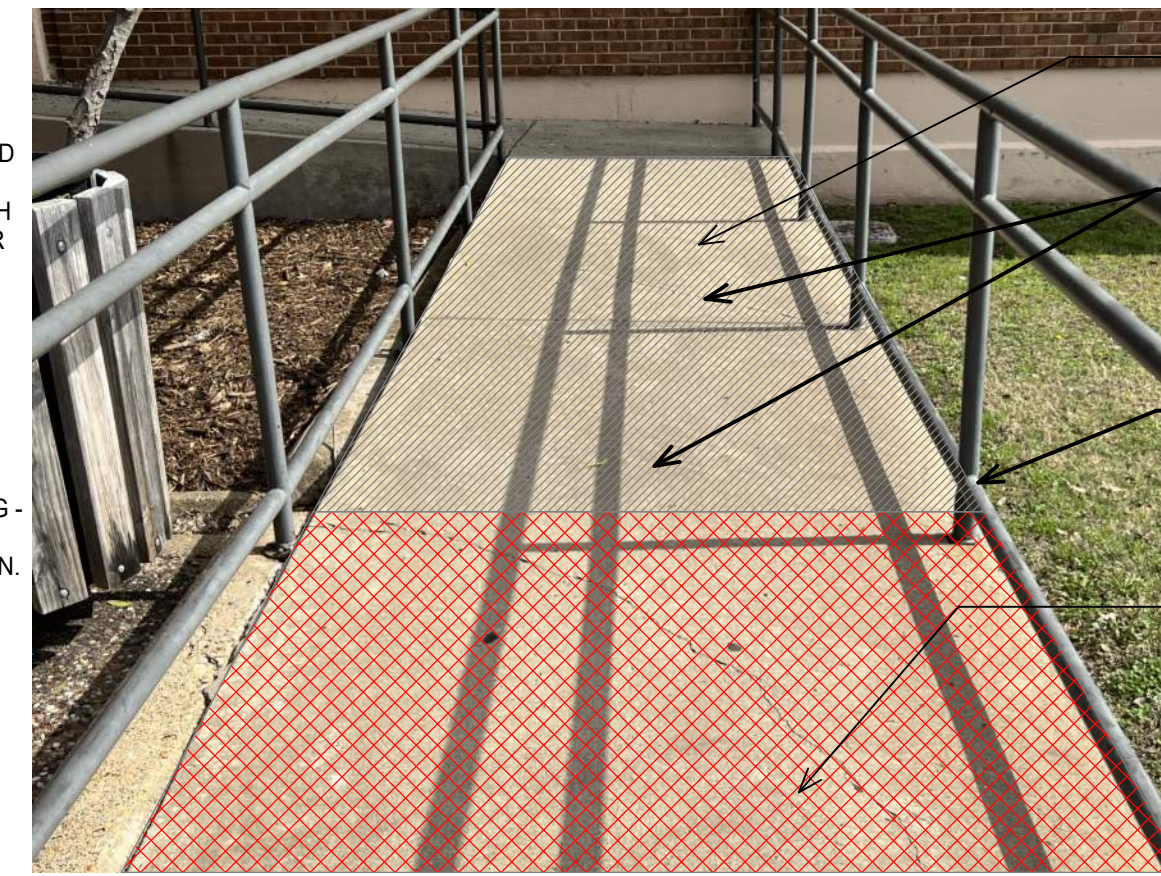
9 ENTRANCE
NO SCALE



CRACKED AND DELAMINATED CONCRETE TOPPING. REMOVE AND REPLACE WITH CONCRETE REPAIR MORTAR. FINISH TO MATCH EXISTING.

EXISTING CRACK IN TOPPING - VERIFY IF DBL TEE SHEAR CONNECTORS HAVE BROKEN. SEE DETAIL 4/S3.01

10 EXISTING ENTRANCE EAST SIDE
NO SCALE



REMOVE RAMP SLAB AND NOTIFY A/E TEAM WHEN GRADE BEAM IS EXPOSED

CRACKS IN CONCRETE RAMP SHALL BE REPAIRED AFTER REMOVING APPROXIMATELY 1" OF CONCRETE. ROUGHEN SURFACE TO A CSP OF 6.

REMOVE HANDRAILS, FILL HANDRAIL POST HOLES WITH CONCRETE REPAIR MORTAR.

REMOVE RAMP SLAB AND NOTIFY A/E TEAM WHEN GRADE BEAM IS EXPOSED

11 EXISTING CONCRETE RAMP
NO SCALE



REMOVE CRACKED AND SPALLING CONCRETE - SEE DETAIL 6/S3.01

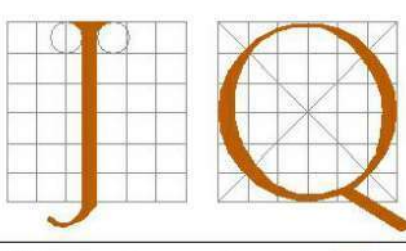
12 EXISTING CONCRETE STAIRS
NO SCALE



CONCRETE SPALLS. REPAIR WITH CONCRETE REPAIR MORTAR. FINISH AND COLOR TO MATCH EXISTING.

13 NORTH END OF ENTRANCE
NO SCALE

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