

ORDINANCE NO. 4880
File No. Z0320-0133

AN ORDINANCE AMENDING THE MESQUITE ZONING ORDINANCE BY APPROVING A CHANGE OF ZONING FROM GENERAL RETAIL AND COMMERCIAL TO PLANNED DEVELOPMENT – COMMERCIAL AND PLANNED DEVELOPMENT – GENERAL RETAIL TO ALLOW MINIWAREHOUSES, STORAGE OF VEHICLES, RENTAL OF PASSENGER VEHICLES AND TRUCKS, TRADE AND BUILDING CONTRACTORS, AND OTHER USES PERMITTED IN THE COMMERCIAL AND GENERAL RETAIL ZONING DISTRICTS ON PROPERTY LOCATED ON TOWNE CENTRE DRIVE AND GUS THOMASSON ROAD SUBJECT TO CERTAIN STIPULATIONS; REPEALING ALL ORDINANCES IN CONFLICT WITH THE PROVISIONS OF THIS ORDINANCE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A PENALTY NOT TO EXCEED \$2,000.00; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Planning and Zoning Commission and the City Council, in compliance with the Charter of the City of Mesquite, state laws and the zoning ordinance, have given the required notices and held the required public hearings regarding the rezoning of the subject property; and

WHEREAS, the City Council finds that it is in the public interest to grant this change in zoning.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MESQUITE, TEXAS:

SECTION 1. That the subject property is described as being approximately 5.99 acres, platted as Triangle East 2, Block A, PT LT 3, and located on Towne Centre Drive and Gus Thomasson Road in the City of Mesquite, Dallas County, Texas, and more particularly described in the attached Exhibit A and depicted in the attached Exhibit C (the “**Property**”).

SECTION 2. That the Mesquite Zoning Ordinance is amended by approving a change of zoning for the Property from General Retail (“**GR**”) and Commercial to Planned Development – Commercial and Planned Development – GR to allow miniwarehouses, storage of vehicles, rental of passenger vehicles and trucks, trade and building contractors, and other uses permitted in the Commercial and GR zoning districts subject to the Planned Development Conditions attached hereto as Exhibit B and the following stipulations:

- (1) Parking of vehicles for lease/rental must be in addition to required parking spaces and shall not utilize required parking spaces.
- (2) Parking of heavy load vehicles shall not include tractor-trailers or semi-trailers.

SECTION 3. That all ordinances, or portions thereof, of the City of Mesquite in conflict with the provisions of this ordinance, to the extent of such conflict are hereby repealed; otherwise, they shall remain in full force and effect.

SECTION 4. That the Property described in Section 1 of this ordinance shall be used only in the manner and for the purposes provided for by the Mesquite Zoning Ordinance, as amended.

SECTION 5. That should any word, sentence, clause, paragraph or provision of this ordinance be held to be invalid or unconstitutional, the remaining provisions of this ordinance shall remain in full force and effect.

SECTION 6. That any person (as defined in Chapter 1, Section 1-2 of the Code of the City of Mesquite, Texas, as amended) violating any of the provisions or terms of this ordinance shall be deemed to be guilty of a Class C Misdemeanor and upon conviction thereof, shall be subject to a fine not to exceed Two Thousand (\$2,000.00) Dollars for each offense, provided, however, if the maximum penalty provided for by this ordinance for an offense is greater than the maximum penalty provided for the same offense under the laws of the State of Texas, the maximum penalty for violation of this ordinance for such offense shall be the maximum penalty provided by the laws of the State of Texas. Each day or portion of a day any violation of this ordinance continues shall constitute a separate offense.

SECTION 7. That this ordinance shall take effect and be in force from and after five days after publication.

DULY PASSED AND APPROVED by the City Council of the City of Mesquite, Texas, on the 19th day of July 2021.



Bruce Archer
Mayor

ATTEST:



Sonja Land
City Secretary

APPROVED AS TO LEGAL FORM:



David L. Paschall
City Attorney

Metes and Bounds - Platinum Gus Thomasson

BEGINNING at a 1/2" iron rod found for corner in the east R.O.W. line of Gus Thomasson Road (a variable width R.O.W.), and being the common northwest corner of the above mentioned Lot 3 and the westernmost southwest corner of that same tract of land described as Tract 1 in deed to the City of Mesquite, recorded in Volume 90158, Page 2356 of the Deed Records of Dallas County, Texas;

THENCE N 79°26'31" E, 740.38' along the north line of said Lot 3 and the westernmost south line of said City of Mesquite property to a 5/8" iron rod found for corner;

THENCE S 04°03'00" W, 98.90' along the east line of said Lot 3 and a west line of said City of Mesquite property to a 1/2" iron rod found for corner;

THENCE S 12°57'54" E, 253.73' along the east line of said Lot 3 and a west line of said City of Mesquite property to a cross found for corner in the northwest R.O.W. line of Towne Centre Drive (a 60' R.O.W.);

THENCE S 44°56'37" W, 200.02' along the northwest line of Towne Centre Drive to a 5/8" iron rod found at the east corner of that same tract of land described in deed as Tract 2 to O.M.U. & C.N.O. Family, L.P., recorded in Instrument No. 200600468556 of the Official Public Records of Dallas County, Texas;

THENCE N 45°03'23" W, 220.00' along the northeast line of said O.M.U. & C.N.O. Family, L.P. property to a 5/8" iron rod found for corner;

THENCE S 44°56'37" W, 432.31' along the northwest line of said O.M.U. & C.N.O. Family, L.P. property (Tracts 1 and 2) to a 5/8" iron rod found for corner in the east line of Lot 2, Block A of said Triangle East 2, Block A, Lots 1-3 addition;

THENCE N 04°56'20" E, 313.06' along the east line of said Lot 2 and a westerly line of said Lot 3 to a 5/8" iron rod found at the northeast corner of Lot 2;

THENCE N 85°03'40" W, 217.98' along the north line of said Lot 2 and a northwesterly line of said Lot 3 to a 5/8" iron rod found for corner in the east line of Gus Thomasson Road;

THENCE N 04°56'20" E, 172.39' along the east line of Gus Thomasson Road to the Point of Beginning and containing 261,665.07 square feet or 6.0070 acres of land.

Exhibit B

Planned Development Conditions

Platinum Gus Thomasson and Towne Centre

Conceptual plan: Development and use of the property must comply with the conceptual plan (Exhibit C). If there is a conflict between the conceptual plan and the text of this article, the text of this article controls.

Subareas: This PD District is divided into three subareas: 1, 2 and 3 as shown on the Concept Plan.

Exhibits: Exhibit C – Concept plan; Exhibit D – Landscape plan; Exhibit E – Building Elevations; Exhibit F – Amenity Plan

Uses Permitted, Subarea 1: Permitted uses in Subarea A are those uses permitted in the General Retail (GR) District.

Uses Permitted, Subarea 2: Permitted uses in Subarea B are those uses allowed in the Commercial District (C) District and the following uses:

- Self-Storage/Mini-warehouse
- Automobile Parking – Heavy and Light Load - Vehicle/RV/Boat storage, outdoors
- Residential dwelling as an accessory to a self-storage facility

Uses Permitted, Subarea 3: Permitted uses in Subarea C are those uses allowed in the Commercial District (C) District and the following uses:

- Automotive Rental, Leasing
- Truck Rental, Leasing
- Office showroom/warehouse
- Warehouse
- Building Contractors
- Special Trade Contractors

Development Regulations, Overall

Buildings A and D satisfy the Liner Building requirement provided street facing elevations generally appear as provided on exhibit E.

Landscaping: Landscaping shall be provided as generally shown on exhibit D.

Internal parking lot landscaping amid the RV/Boat storage areas may be provided as generally shown on the Landscape Plan, exhibit D.

A minimum 700-square foot of surface area of enhanced paving is required at the vehicular access point on Town Centre Drive as generally shown exhibits C and F. Enhanced paving may be in the form of brick pavers or stamped and stained/colored concrete with the appearance of hand laid units.

An 8-foot wide sidewalk is required along Towne Centre Drive.

A minimum 5-foot wide sidewalk is required along Gus Thomasson Road.

The maximum lot coverages are as shown on the concept plan.

Driveway approach locations and median configuration is permitted as generally shown on the Concept Plan, Exhibit C.

Development Regulations, Subarea 1

The maximum number of stories is one.

Amenities shall be provided as generally shown on the Amenity Plan, exhibit F. The exact location is adjustable and will be determined on the site plan as part of construction plan set for permit.

Development Regulations, Subarea 2:

The parking requirement is 11 spaces.

The maximum building height for Building B is 47 feet.

The maximum number of stories for Building B is three.

The maximum floor area is 110,000 square feet, excluding partially enclosed RV parking areas.

The maximum structure height for 3-sided storage structures is 18 feet.

Perimeter fencing requirements are satisfied by a combination of wrought iron security fencing and the partially enclosed storage buildings as generally shown on the concept plan.

One monument sign is permitted along Gus Thomasson Road to serve self-storage in subarea 2.

Development Regulations, Subarea 3:

The maximum allowable height for Buildings C and D is 32 feet.

The maximum number of stories for Buildings C and D is one.

The maximum floor area is 22,000 square feet.

Outdoor storage associated with contractor uses is prohibited.

Overhead doors facing Towne Centre Drive and Gus Thomasson Road are prohibited.

Dumpsters, if visible from public view or a public street, shall be screened with masonry materials consistent with one of the exterior materials of storage buildings.

Separation between buildings shall be no less than 15 feet. This building separation requirement does not apply to canopy/carport structures in Subarea 2.

A minimum of one parking space is required for each 300 square feet of office space. A minimum of one parking space is required for each 2,000 square feet of all warehouse, storage or non-office space for contractor or warehouses uses in Subarea 3. Any other permitted use shall be parked at 1 space per 500 square feet of floor area.

A minimum 6-foot tall masonry wall is required between Buildings C and D to screen from Towne Centre Drive.

Operational Characteristics:

The storage facility in Subarea 2 will be accessible to customers between the hours of 6AM and 10PM seven days a week.

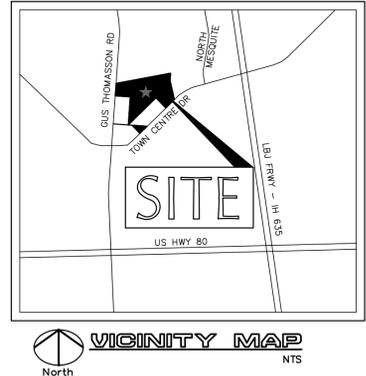
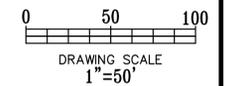
With exception of vehicles (RVs, boats, etc.) in designated outside open air or partially enclosed storage areas as shown on exhibit E, all storage items shall be contained within an enclosed building

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF REVIEW UNDER THE AUTHORITY OF PAUL CRAGUN, P.E. NO. 112767 ON 06/10/21.

EXHIBIT C - ZONING CONCEPT PLAN (1 OF 2)
 WALK TOWN CENTRE
 CITY OF MESQUITE - 1925 TOWNE CENTRE DRIVE
 DALLAS COUNTY, TEXAS

Zoning File No. Z0320-0133
Exhibit C

- EXISTING EDGE OF PAVEMENT
- PROPOSED EDGE OF CURB
- PROPOSED FIRELANE
- PROPOSED LANDSCAPING AREA
- PROPOSED SIDEWALK
- PROPOSED PAVEMENT
- PROPOSED RED COLOR BRICK PATTERN STAMP
- FINISHED FLOOR ELEVATION



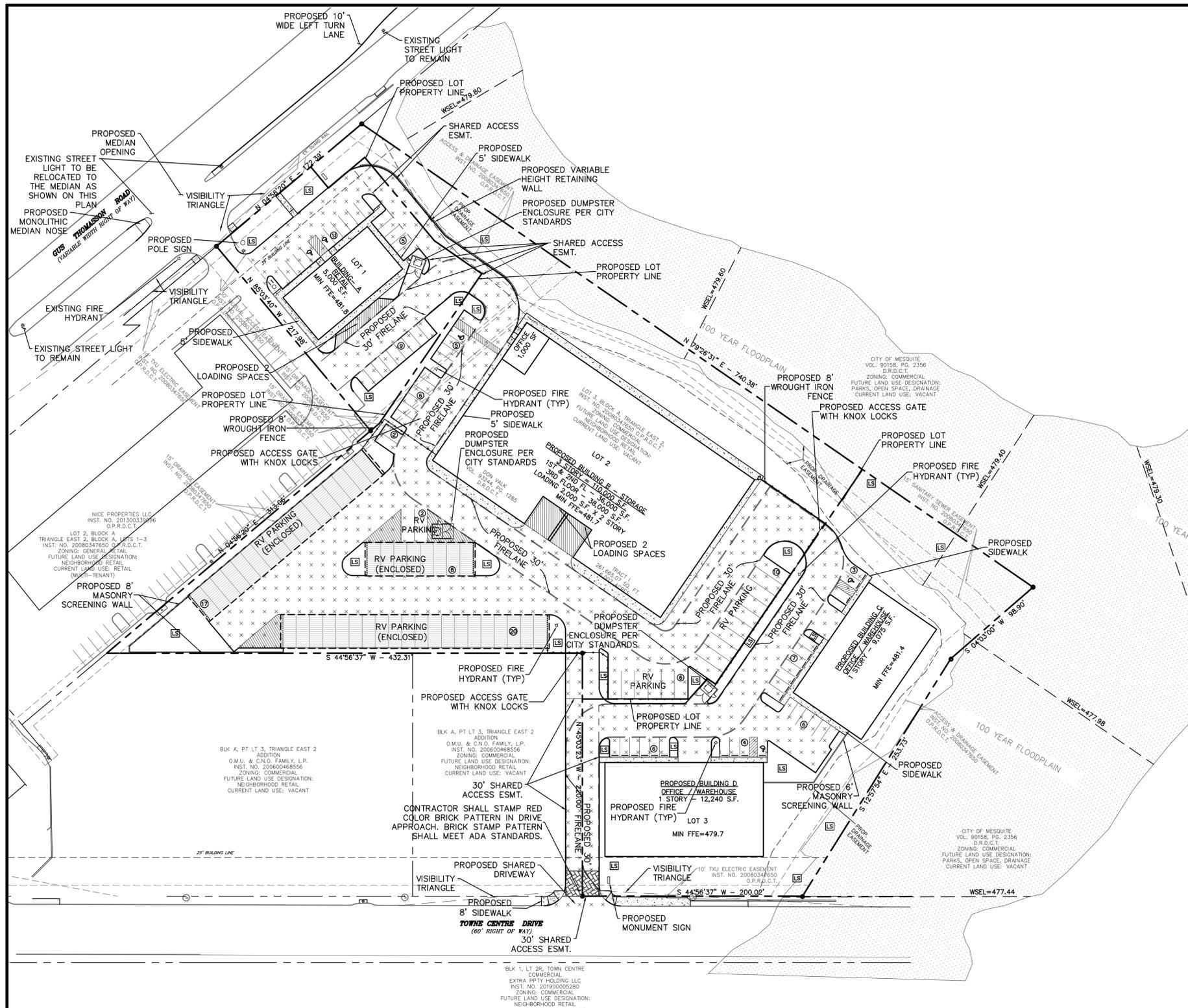
SITE DATA TABLE (LOT 1)	
ZONING:	PD-GR
LAND USE:	RETAIL
SITE ACREAGE:	0.70 ACRES
BUILDING AREA:	5,000 SF
BUILDING A: 1ST FLOOR - RETAIL	5,000 SF
TOTAL BUILDING AREA:	5,000 SF
OPEN SPACE	6,083/30,492: 19.9%
PAVED SURFACE AREA	19,409/30,492: 63.7%
BUILDING LOT COVERAGE	5,000/30,492: 16.4%
PARKING REQUIREMENTS	20 SPACES
PARKING PROVIDED:	25 SPACES
ACCESSIBLE PARKING REQUIRED:	1 SPACE
ACCESSIBLE PARKING PROVIDED:	2 SPACES
OFF-STREET LOADING REQUIRED:	1 SPACE
OFF-STREET LOADING PROVIDED:	2 SPACES

SITE DATA TABLE (LOT 2)	
ZONING:	PD-C
LAND USE:	SELF-STORAGE
SITE ACREAGE:	3.49 ACRES
BUILDING AREA:	110,000 SF
OFFICE: 1ST FLOOR - OFFICE	1,000 SF
BUILDING B: 1ST FLOOR - STORAGE	36,000 SF
BUILDING B: 2ND FLOOR - STORAGE	36,000 SF
BUILDING B: 3RD FLOOR - STORAGE	38,000 SF
TOTAL BUILDING AREA:	110,000 SF
OPEN SPACE	35,160/152,024: 23.1%
PAVED SURFACE AREA	56,046/152,024: 36.9%
BUILDING LOT COVERAGE	60,810/152,024: 40.0%
PARKING REQUIREMENTS	11 SPACES
PARKING PROVIDED:	13 SPACES
ACCESSIBLE PARKING REQUIRED:	1 SPACE
ACCESSIBLE PARKING PROVIDED:	1 SPACE
OFF-STREET LOADING REQUIRED:	2 SPACE
OFF-STREET LOADING PROVIDED:	2 SPACES

SITE DATA TABLE (LOT 3)	
ZONING:	PD-C
LAND USE:	WAREHOUSE/OFFICE
SITE ACREAGE:	1.816 ACRES
BUILDING AREA:	21,315 SF
BUILDING C: 1ST FLOOR	9,075 SF
BUILDING D: 1ST FLOOR	12,240 SF
TOTAL BUILDING AREA:	21,315 SF
OPEN SPACE	32,907/79,105: 41.6%
PAVED SURFACE AREA	24,883/79,105: 27.8%
BUILDING LOT COVERAGE	21,315/79,105: 31.4%
PARKING REQUIREMENTS	26 SPACES
BUILDING C-D WAREHOUSE/OFFICE	26 SPACES
PARKING PROVIDED:	26 SPACES
ACCESSIBLE PARKING REQUIRED:	2 SPACES
ACCESSIBLE PARKING PROVIDED:	2 SPACES

SITE NOTES:

1. THE PROPOSED BUILDINGS WILL BE FIRE SPRINKLERED.
2. ALL SIDEWALKS SHALL MAINTAIN A 2% MAXIMUM CROSS SLOPE AND A 5% MAXIMUM IN THE DIRECTION OF PEDESTRIAN TRAVEL. ALL ADA SIDEWALKS SHALL INCLUDE ALL LANDINGS, MARKINGS, ETC AS REQUIRED BY CODE.
3. THE SITE IS CURRENTLY VACANT.
4. APPLICATION WILL CONFIRM TO THE CITY'S OUTDOOR LIGHTING REQUIREMENTS.
5. PREMISE IDENTIFICATION SHALL BE PER THE FIRE DEPARTMENT REQUIREMENTS
6. ALL DIMENSIONS ARE FROM FACE OF CURB TO EDGE OF CONCRETE OR FACE OF BUILDING UNLESS OTHERWISE NOTED.
7. SITE SIGNAGE SHALL BE BY SEPARATE PERMIT.



"ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF MESQUITE, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN."



!!! CAUTION !!!
UNDERGROUND UTILITIES

EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS PARTIES. THE ENGINEER DOES NOT ASSUME THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR(S) TO VERIFY THE HORIZONTALLY AND VERTICALLY LOCATION OF ALL UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED AND NOTIFY THE ENGINEER OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO UTILITIES SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
CALL: TEXAS ONE CALL • 1-800-245-4545 AT LEAST 48 HRS PRIOR TO CONSTRUCTION.

NOTE:
 ALL CURRENT DEVELOPMENT REQUIREMENTS OF THE CITY AS AMENDED SHALL BE MET UNLESS APPROVED OTHERWISE WITHIN THESE PLANNED DEVELOPMENT ZONING DISTRICT DEVELOPMENT REGULATIONS

NOTE:
 AN AUTOMATIC SPRINKLER SYSTEM SHALL BE INSTALLED THROUGHOUT ALL SELF-STORAGE FACILITIES. THIS INCLUDES ALL BUILDINGS AS WELL AS ENCLOSED RV PARKING.

NOTE:
 THIS ZONING CONCEPT PLAN IS FOR ILLUSTRATIVE PURPOSES ONLY AND SUBJECT TO CHANGE. THIS ZONING CONCEPT PLAN, ALONG WITH DEVELOPMENT REGULATIONS, IS INTENDED TO DESCRIBE THE INTENT OF THE PLANNED DEVELOPMENT. SIGNIFICANT DEVIATIONS FROM THIS ZONING CONCEPT PLAN, AS DETERMINED BY THE DIRECTOR OF PLANNING AND DEVELOPMENT SERVICE, WILL REQUIRE AN AMENDMENT TO THE ZONING CONCEPT PLAN AND, AS NECESSARY, THE DEVELOPMENT REGULATIONS.

NOTE:
 CONTRACTOR SHALL CALL DIG TESS PRIOR TO CONSTRUCTION TO LOCATE ALL FRANCHISE UTILITIES. CONTACT DIG TESS AT 811 EXISTING UTILITIES LOCATED ALONG STREET

NOTE:
 FINISHED FLOOR OF ALL STRUCTURES AND MECHANICAL/ELECTRICAL EQUIPMENT MUST BE 2- FEET ABOVE THE ULTIMATE 100-YEAR FLOOD ELEVATION.

PROPERTY OWNER:
 DON WALK
 4000 N. MACARTHUR BLVD., SUITE A132
 IRVING, TEXAS 75038
 TELEPHONE: (972) 717-7666
 FAX: (972) 717-2666
 EMAIL: DON@THEASSUREDGROUP.COM

DEVELOPER:
 PLATINUM STORAGE
 TOWNSEND DR
 ROCKWALL, TX 75087
 PH: (972) 722-2590
 CONTACT: HELLEN BYRD

ENGINEER:
 CUMULUS DESIGN, INC.
 FIRM NUMBER: 14810
 2080 NORTH HIGHWAY 360, SUITE 240
 GRAND PRAIRIE, TEXAS 75050
 PH: (214) 235-0367
 CONTACT: PAUL CRAGUN

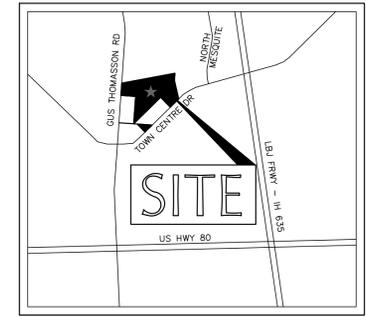
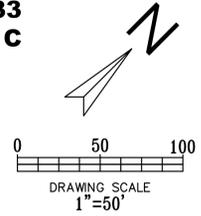
SURVEYOR:
 DAVIS LAND SURVEYING CO., INC.
 9777 FERGUSON ROAD, SUITE 105
 DALLAS, TEXAS 75228
 PH: (214) 321-0569
 CONTACT: SCOTT DAVIS

EXHIBIT C - ZONING CONCEPT PLAN

BENCHMARK
 BM-1 CHISELED SQUARE ON TOP MANHOLE STRUCTURE, 100' NORTH OF THE NORTHEAST CORNER OF THE TOWNE CENTRE DRIVE BRIDGE OVER SOUTH MESQUITE CREEK.
 ELEVATION: 480.16
 CONTRACTOR SHALL COORDINATE WITH SURVEYOR FOR BENCHMARKS AND ELEVATIONS PRIOR TO CONSTRUCTION. ENGINEER NOT RESPONSIBLE FOR PROVIDING BENCHMARKS AND BEARINGS.

PLOT DATE	06/10/21
DRAWING SCALE	1" = 50'
PROJECT NUMBER	CD20001
SHEET NUMBER	CP

Zoning File No. Z0320-0133
Exhibit C



VICINITY MAP
North NTS

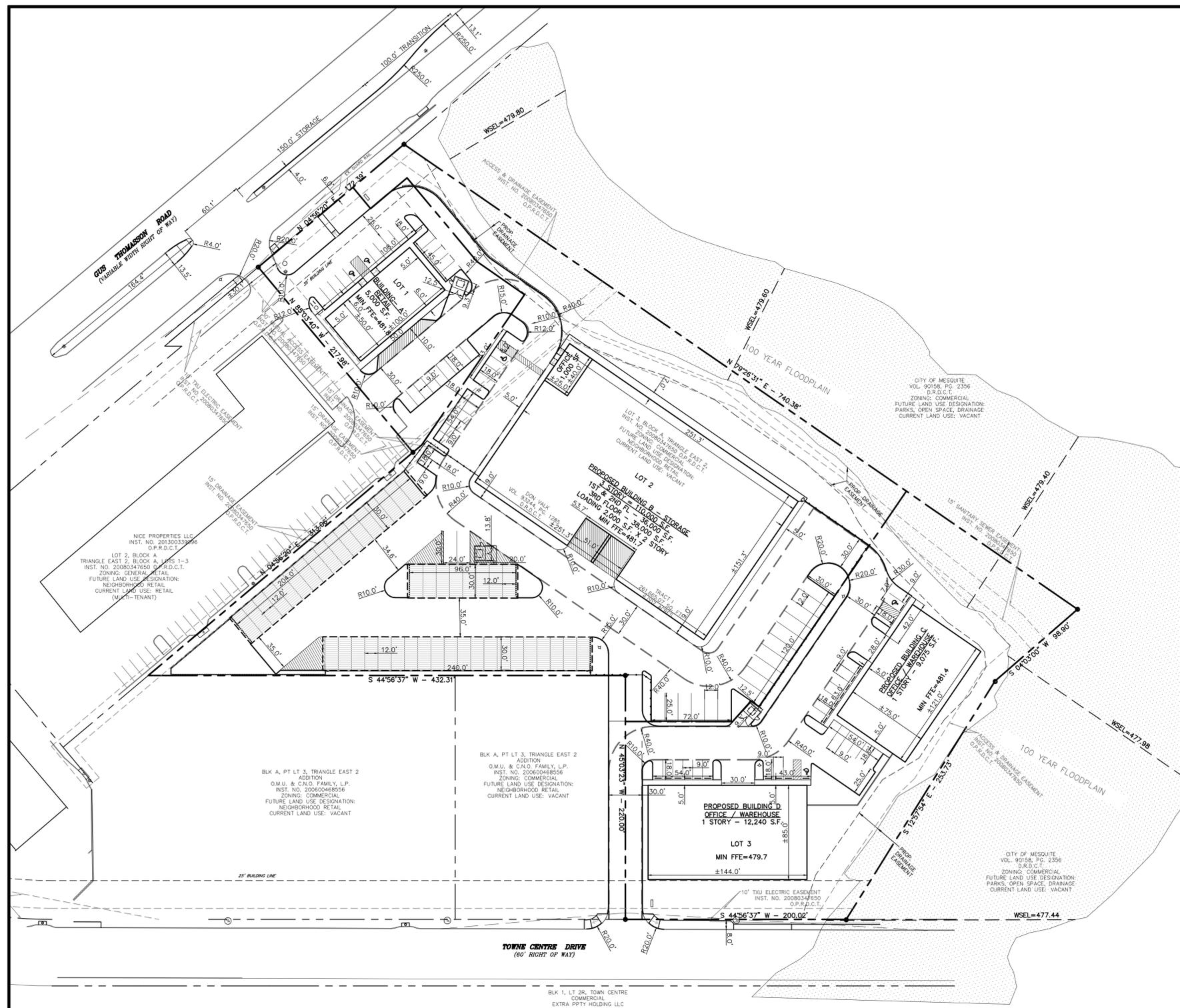
- LEGEND**
- - - - - EXISTING EDGE OF PAVEMENT
 - ==== PROPOSED EDGE OF CURB
 - — — — PROPOSED FIRELANE

NOTE:
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CUMULUS DESIGN
Cumulus Design
Firm #14810
2080 N. Highway 360, Suite 240
Grand Prairie, Texas 75050
Tel. 214.235.0367

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF REVIEW UNDER THE AUTHORITY OF PAUL CRAGUN, P.E. NO. 112767 ON 06/10/21.

EXHIBIT C - ZONING CONCEPT PLAN (2 OF 2)

VALK TOWN CENTRE
CITY OF MESQUITE - 1925 TOWNE CENTRE DRIVE
DALLAS COUNTY, TEXAS

PLOT DATE	06/10/21
DRAWING SCALE	1" = 50'
PROJECT NUMBER	CD20001
SHEET NUMBER	CP

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LANDSCAPE NOTES

- PLANT LIST FOR THIS SHEET ONLY.
- PLANT LIST TO BE USED AS AIDE TO BIDDER ONLY. LANDSCAPE CONTRACTOR TO VERIFY ALL QUANTITIES.
- ORGANIC MATERIAL SHALL BE ONE OF THE FOLLOWING:
VITAL EARTH COMPOST
BACK-TO-EARTH SOIL CONDITIONER
LIVING EARTH COMPOST
SOIL BUILDING SYSTEMS COMPOST
SILVER CREEK MATERIALS COMPOST
- TOPRESS SHRUBS/TREES WITH MINIMUM 2" DEPTH SHREDDED NATIVE CEDAR MULCH.
- ALL SHADE TREES, ORNAMENTAL TREES, AND ORNAMENTAL GRASS SHALL BE PLANTED AS PER PER DETAILS ON THIS SHEET.
- ALL LANDSCAPE AREAS SHALL BE WATERED WITH AUTOMATIC IRRIGATION SYSTEM, COMPLETE WITH FREEZE SENSOR, RAIN STAT, AND CONTROLLER. SYSTEM SHALL BE DESIGNED TO UTILIZE WATER-SAVING TECHNIQUES AND EQUIPMENT. INSTALLATION OF SYSTEM SHALL BE MADE BY A FIRM DULY LICENSED UNDER ARTICLE NO. 8751 V.T.C.S. (LICENSED IRRIGATORS ACT), S.B. NO. 259.

TRACT 1
CITY OF MESQUITE
VOL. 90158, PG. 2356
D.R.D.C.T.

100 YEAR FLOODPLAIN

15' SANITARY SEWER EASEMENT
INST. NO. 20080347650
O.P.R.D.C.T.

ACCESS & DRAINAGE EASEMENT
INST. NO. 20080347650
O.P.R.D.C.T.

PROP. DRAINAGE EASEMENT

PROP. DRAINAGE EASEMENT

GUS THOMASSON ROAD
(VARIABLE WIDTH RIGHT OF WAY)

LOT 1
BUILDING-A
RETAIL
5,000 S.F.
MIN FFE=481.8

LOT 2
PROPOSED BUILDING B - STORAGE
3 STORY = 110,000 S.F.
1ST & 2ND FL - 36,000 S.F.
3RD FLOOR - 38,000 S.F.
LOADING 2,000 S.F. X 2 STORY
MIN FFE=481.7

PROPOSED BUILDING C
OFFICE / WAREHOUSE
1 STORY - 9,075 S.F.
MIN FFE=481.4

PROPOSED BUILDING D
OFFICE / WAREHOUSE
1 STORY - 12,240 S.F.
LOT 3
MIN FFE=479.7

DON VALK
VOL. 93244, PG. 1285
D.R.D.C.T.

TRACT 1
261,665.07 SQ. FT.
6.007 ACRES

TRACT 1
PROP. CITY OF MESQUITE
DRAINAGE 90158, PG. 2356
EASEMENT D.R.D.C.T.
ACCESS & DRAINAGE EASEMENT
INST. NO. 20080347650
O.P.R.D.C.T.

50' MUTUAL ACCESS EASEMENT
INST. NO. 20080347650
O.P.R.D.C.T.

15' DRAINAGE EASEMENT
INST. NO. 20080347650
O.P.R.D.C.T.

15' DRAINAGE EASEMENT
INST. NO. 201300339096
O.P.R.D.C.T.

15' DRAINAGE EASEMENT
INST. NO. 20080347650
O.P.R.D.C.T.

15' DRAINAGE EASEMENT
INST. NO. 20080347650
O.P.R.D.C.T.

LANDSCAPE LEGEND

- COMMON BERMUDA SOD (CYNODON DACTYLON)
- DECOMPOSED GRANITE (SEE NOTE BELOW)
- COBBLE STONE (SEE NOTE BELOW)

- SOD INSTALLATION NOTES:
- ALL SUBGRADE SHALL BE ACCEPTED AT ROUGH FINISH GRADE. IF ANY EXISTING VEGETATION IS EVIDENT, LANDSCAPE CONTRACTOR SHALL SPRAY AREA WITH BROAD SPECTRUM HERBICIDE APPLICATION TO REMOVE ANY VEGETATION.
 - AFTER APPROPRIATE TIME TO ENSURE A VEGETATION IS DEAD, TILL SUBGRADE AND RAKE SMOOTH, REMOVING ALL DEAD VEGETATION, STONES, CLOUDS AND DEBRIS.
 - SOD SHALL BE VIGOROUS, WELL-ROOTED AND SHALL BE DELIVERED AT A UNIFORM SOIL THICKNESS.
 - SOD SHALL BE LAID WITH ALTERNATING JOINTS.
 - ALL SOD SHALL BE ROLLED TO CONSISTENT SURFACE, FILLING JOINTS WITH COARSE SAND AS REQUIRED.
- COBBLESTONE INSTALLATION NOTES:
- LANDSCAPE CONTRACTOR SHALL INSPECT COBBLESTONE AREAS FOR ANY EXISTING VEGETATION AND PROVIDE BROAD SPECTRUM HERBICIDE APPLICATION TO REMOVE ANY VEGETATION.
 - AFTER APPROPRIATE TIME TO ENSURE A VEGETATION IS DEAD, TILL SUBGRADE AND RAKE SMOOTH, REMOVING ALL DEAD VEGETATION.
 - INSTALL FILTER FABRIC OVER ENTIRE AREA TO RECEIVE COBBLE.
 - PLACE MINIMUM FOUR (4) INCHES OF NEW MEXICO LARGE COBBLE IN DESIGNATED AREAS.
- DECOMPOSED GRANITE INSTALLATION NOTES:
- LANDSCAPE CONTRACTOR SHALL INSPECT D.G. AREAS FOR ANY EXISTING VEGETATION AND PROVIDE BROAD SPECTRUM HERBICIDE APPLICATION TO REMOVE ANY VEGETATION.
 - AFTER APPROPRIATE TIME TO ENSURE A VEGETATION IS DEAD, TILL SUBGRADE AND RAKE SMOOTH, REMOVING ALL DEAD VEGETATION.
 - TILL TOP 1" OF SUBGRADE AND COMPACT TO 95% STANDARD PROCTOR WITH DRUM OR AUTOMATIC HAND TAMPERS. CROWN PROCTOR WITH DRUM OR AUTOMATIC HAND TAMPERS. CROWN
 - INSTALL FILTER FABRIC OVER ENTIRE AREA TO RECEIVE GRANITE.
 - PLACE FOUR (4) INCHES OF DECOMPOSED GRANITE WITH "STABILIZER BINDER OVER A DRY SUB-BASE, INSTALLING IN 1" LIFTS, COMPACTED WITH AUTOMATIC HAND TAMPER.
 - CONTRACTOR SHALL PROVIDE FIVE (5) 50 lbs. BAGS OF PRE-MIXED DECOMPOSED GRANITE FOR FUTURE MAINTENANCE USES.

PLANTLIST

SYM	MATERIAL	LOT A QNTY	LOT B QNTY	LOT C QNTY	SIZE	HT	SP	NOTES
BO	BURR OAK	0	0	5	3" CAL.	10-12'	5-6'	NURSERY GROWN
CO	QUERCUS MACROCARPA	2	5	3	3" CAL.	10-12'	5-6'	NURSERY GROWN
LO	QUERCUS MUEHLBERGIA	0	3	8	3" CAL.	10-12'	5-6'	NURSERY GROWN
CE	QUERCUS VIRGINIANA	0	14	0	3" CAL.	10-12'	6-7'	NURSERY GROWN
LB	CEDAR ELM	5	5	0	3" CAL.	10-12'	6-7'	NURSERY GROWN
CM	LAGERSTROEMIA INDICA 'BASHAM PINK'	0	12	0	30 GAL.	8-10'	4-5'	CONTAINER GROWN
NR	LAGERSTROEMIA INDICA 'BASHAM PINK'	3	0	5	15 GAL.	48"	28"	FULL (48"oc)
MG	ILEX X NELLIE R. STEVENS	23	0	25	5 GAL.	24"	18"	FULL (42"oc)
NP	MISCANTHUS SINENSIS	0	0	24	5 GAL.	24"	18"	FULL (42"oc)
	ILEX CORNUTA 'NEEDLEPOINT'							

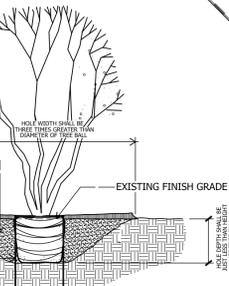
DRENCH WITH COMPOST TEA OR GARRETT JUICE AT TIME OF INSTALLATION

TREE STAKING TO BE PROVIDED ONLY AS REQUIRED OR AT REQUEST OF OWNER/LANDSCAPE ARCHITECT AND REIMBURSED AT PER TREE COST

EXISTING NATIVE SOIL BACKFILL ONLY. SHREDDED CEDAR MULCH AS SPECIFIED TAPER FROM 1/2" AT TRUNK TO 3-5" AT OUTSIDE EDGE TREE HOLE

UNDISTURBED SUBGRADE. MODEL 65BG-NS BELOW-GRADE TREE STAKING AS MFG. BY TREE STAKE SOLUTIONS (www.treestakesolutions.com)

TREE PLANTING
TYPICAL MULTI-TRUNK TREE
not to scale

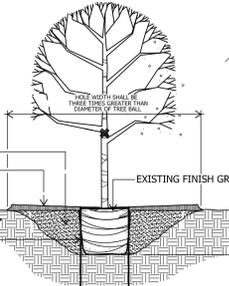


DRENCH WITH COMPOST TEA OR GARRETT JUICE AT TIME OF INSTALLATION

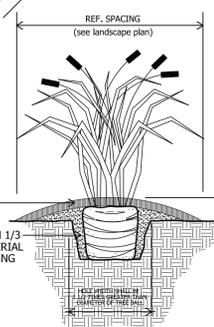
TREE STAKING TO BE PROVIDED ONLY AS REQUIRED OR AT REQUEST OF OWNER/LANDSCAPE ARCHITECT AND REIMBURSED AT PER TREE COST

EXISTING NATIVE SOIL BACKFILL ONLY. SHREDDED CEDAR MULCH AS SPECIFIED TAPER FROM 1/2" AT TRUNK TO 3-5" AT OUTSIDE EDGE TREE HOLE

UNDISTURBED SUBGRADE. MODEL 65BG-NS BELOW-GRADE TREE STAKING AS MFG. BY TREE STAKE SOLUTIONS (www.treestakesolutions.com)



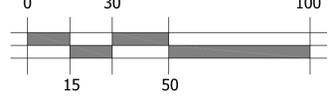
TREE PLANTING
SHADE TREE - 3" CAL. and smaller
not to scale



PIT ORNAMENTAL GRASS
TYPICAL ORNAMENTAL GRASS
not to scale



scale: 1" = 30'-0"

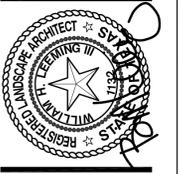


CITY REQUIREMENTS

- LOT 1 - SITE LANDSCAPE
MINIMUM 10% LANDSCAPE AREA REQUIRED
SITE 30,551 SF
REQUIRED 3,055 SF (10%)
PROVIDED 6,083 SF (19.91%)
1 TREE REQUIRED PER 500 SF REQ. LANDSC. 3055 = 6.11 = 7 SHADE TREES REQUIRED
500 = 7 SHADE TREES PROVIDED
- PARKING LANDSCAPE
1 TREE PER 15 SPACES
28 sp. = 1.87 = 2 SHADE TREES REQUIRED
15 = 2 SHADE TREES PROVIDED
- LOT 2 - SITE LANDSCAPE
MINIMUM 10% LANDSCAPE AREA REQUIRED
SITE 152,036 SF
REQUIRED 15,204 SF (10%)
PROVIDED 35,160 SF (23.13%)
1 TREE REQUIRED PER 500 SF REQ. LANDSC. 15,204 = 30.41 = 31 SHADE TREES REQUIRED
500 = 27 SHADE TREES and 12 ORNAMENTALS PROVIDED
- PARKING LANDSCAPE
1 TREE PER 15 SPACES
74 sp. = 4.93 = 5 SHADE TREES REQUIRED
15 = 8 SHADE TREES PROVIDED
- LOT 3 - SITE LANDSCAPE
MINIMUM 10% LANDSCAPE AREA REQUIRED
SITE 79,118 SF
REQUIRED 7,912 SF (10%)
PROVIDED 32,907 SF (41.59%)
1 TREE REQUIRED PER 500 SF REQ. LANDSC. 7912 = 15.82 = 16 SHADE TREES REQUIRED
500 = 16 SHADE TREES PROVIDED
- PARKING LANDSCAPE
1 TREE PER 15 SPACES
28 sp. = 1.86 = 2 SHADE TREES REQUIRED
15 = 8 SHADE TREES PROVIDED

appr. by: _____
drawn by: _____
date: 03-11-20

revisions	date
03-30-20	
06-16-20	
07-30-20	
07-31-20	
03-03-21	
04-26-21	



Leeming Design Group
Landscape Architecture
4913 Rufe Stone Drive, Suite 101-B North Richland Hills, Texas 76180
(817) 571-6889 Fax (817) 571-6896
leemingdesigngroup@outlook.com

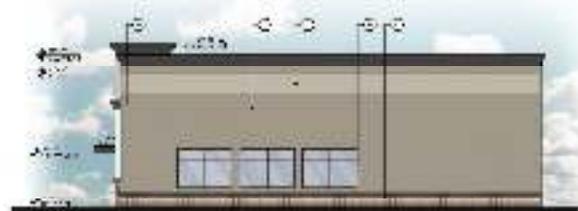
LANDSCAPE PLAN

EXHIBIT D
MESQUITE STORAGE
TOWNE CENTRE DR. at GUS THOMASSON RD.
MESQUITE, TEXAS

file name:
c:\Mesquite-PlatinumStorage\lkg-base_Mesquite.dwg
sheet
L-1



BUILDING C WEST ELEVATION
 DATE: 10/18/17



BUILDING C SOUTH ELEVATION
 DATE: 10/18/17



BUILDING D NORTH ELEVATION
 DATE: 10/18/17

MATERIAL AND COLORS

01 - EXTERIOR WALLS 100% - LIGHT TAN 100% - 100%	02 - EXTERIOR WALLS 100% - LIGHT TAN 100% - 100%	03 - EXTERIOR WALLS 100% - LIGHT TAN 100% - 100%
04 - EXTERIOR WALLS 100% - LIGHT TAN 100% - 100%	05 - EXTERIOR WALLS 100% - LIGHT TAN 100% - 100%	06 - EXTERIOR WALLS 100% - LIGHT TAN 100% - 100%
07 - EXTERIOR WALLS 100% - LIGHT TAN 100% - 100%	08 - EXTERIOR WALLS 100% - LIGHT TAN 100% - 100%	09 - EXTERIOR WALLS 100% - LIGHT TAN 100% - 100%
10 - EXTERIOR WALLS 100% - LIGHT TAN 100% - 100%	11 - EXTERIOR WALLS 100% - LIGHT TAN 100% - 100%	12 - EXTERIOR WALLS 100% - LIGHT TAN 100% - 100%



BUILDING D EAST ELEVATION
 DATE: 10/18/17

WALK TOWN CENTER - BLDG C/D - OFFICE/WAREHOUSE
 DATE OF RECORDING: JUNE 2018 AND 10/18/2017
 PROJECT TRACKING
 PREPARED BY: 10/18/17

10/18/17
 10/18/17
 10/18/17





STREET ELEVATION GUS THOMASSON ROAD



BUILDING A WEST ELEVATION



BUILDING A NORTH ELEVATION

MATERIAL AND COLORS

- ① 1/2" X 1/2" X 1/2" BRICK
- ② 1/2" X 1/2" X 1/2" BRICK
- ③ 1/2" X 1/2" X 1/2" BRICK
- ④ 1/2" X 1/2" X 1/2" BRICK
- ⑤ 1/2" X 1/2" X 1/2" BRICK
- ⑥ 1/2" X 1/2" X 1/2" BRICK
- ⑦ 1/2" X 1/2" X 1/2" BRICK
- ⑧ 1/2" X 1/2" X 1/2" BRICK
- ⑨ 1/2" X 1/2" X 1/2" BRICK
- ⑩ 1/2" X 1/2" X 1/2" BRICK
- ⑪ 1/2" X 1/2" X 1/2" BRICK
- ⑫ 1/2" X 1/2" X 1/2" BRICK
- ⑬ 1/2" X 1/2" X 1/2" BRICK
- ⑭ 1/2" X 1/2" X 1/2" BRICK
- ⑮ 1/2" X 1/2" X 1/2" BRICK
- ⑯ 1/2" X 1/2" X 1/2" BRICK
- ⑰ 1/2" X 1/2" X 1/2" BRICK
- ⑱ 1/2" X 1/2" X 1/2" BRICK
- ⑲ 1/2" X 1/2" X 1/2" BRICK
- ⑳ 1/2" X 1/2" X 1/2" BRICK



TYP. SCREEN WALL

VALK TOWN CENTER: BLDG A - RETAIL
 EAST OF SEC. 04 OF GUS THOMASSON ROAD AND TOWN CENTER DRIVE
 MESQUITE TEXAS 75150
 DATE: 06-10-2011 (PRELIMINARY)

E-1
 EMBBFE
 P/AM 15130.00

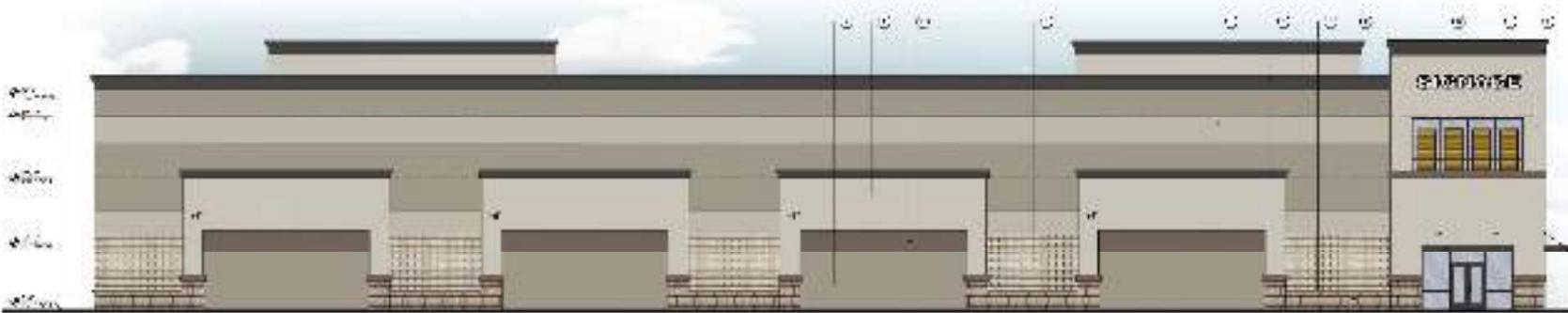


MATERIAL AND COLORS

CO. 1.00 - CONCRETE	CO. 2.00 - BRICK	CO. 3.00 - METAL PANELS
CO. 4.00 - STUCCO	CO. 5.00 - GLASS	CO. 6.00 - PAINT
CO. 7.00 - ...	CO. 8.00 - ...	CO. 9.00 - ...
CO. 10.00 - ...	CO. 11.00 - ...	CO. 12.00 - ...
CO. 13.00 - ...	CO. 14.00 - ...	CO. 15.00 - ...
CO. 16.00 - ...	CO. 17.00 - ...	CO. 18.00 - ...
CO. 19.00 - ...	CO. 20.00 - ...	CO. 21.00 - ...
CO. 22.00 - ...	CO. 23.00 - ...	CO. 24.00 - ...
CO. 25.00 - ...	CO. 26.00 - ...	CO. 27.00 - ...
CO. 28.00 - ...	CO. 29.00 - ...	CO. 30.00 - ...



EAST ELEVATION
 1/24/2020



NORTH ELEVATION
 1/24/2020

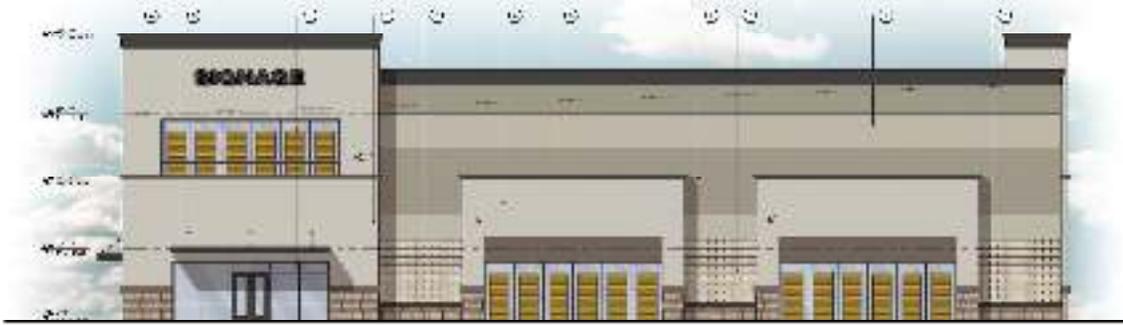
VALK TOWN CENTER: BLDG 8 - STORAGE
 EAST OF RD 102 S IN WALKER FOR WALK TOWN CENTER PHASE
 IN ESCUTCIA TOWNSHIP
 DATE: 01/24/2020, 10:48 AM

E 2.1
 01/23/20
 RSKAA



MATERIAL AND COLORS

<p>1. BRICK</p> <p>2. BRICK</p> <p>3. BRICK</p> <p>4. BRICK</p>	<p>5. BRICK</p> <p>6. BRICK</p> <p>7. BRICK</p> <p>8. BRICK</p>	<p>9. BRICK</p> <p>10. BRICK</p> <p>11. BRICK</p> <p>12. BRICK</p>
---	---	--



WEST ELEVATION



SOUTH ELEVATION

VALK TOWN CENTER: BLDG B - STORAGE
 EAST OF RUC OF GLENN HIGHWAY LEAD AND TOWNE CENTER DRIVE
 VESSELITE TOWNSHIP
 DATE: 04-22-2021 (17011947)

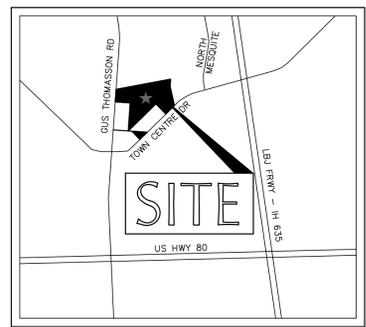
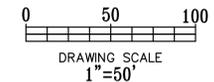
E-2
 0012-0
 RKA-15017-0



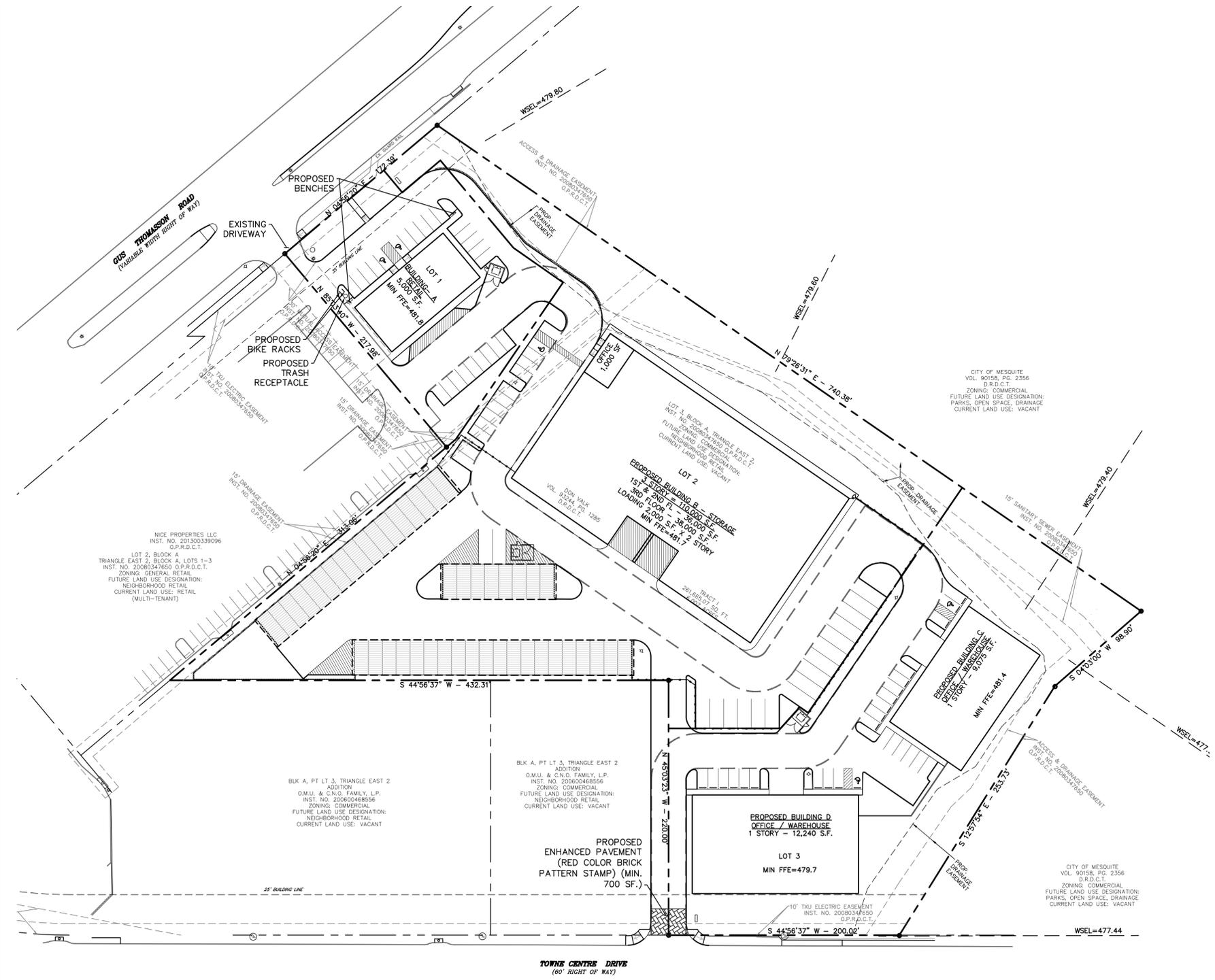
THIS DOCUMENT IS
RELEASED FOR
THE PURPOSE OF
REVIEW UNDER THE
AUTHORITY OF PAUL
CRAGUN, P.E.
NO. 112767 ON
06/10/21.

EXHIBIT F -- AMENITY PLAN
WALK TOWN CENTRE
CITY OF MESQUITE -- 1925 TOWNE CENTRE DRIVE
DALLAS COUNTY, TEXAS

- LEGEND**
- - - - - EXISTING EDGE OF PAVEMENT
 - - - - - PROPOSED EDGE OF CURB
 - - - - - PROPOSED FIRELANE
 - ▨ PROPOSED RED COLOR BRICK PATTERN STAMP
 - PROPOSED BENCH
 - PROPOSED TRASH RECEPTACLE
 - ○ - PROPOSED BIKE RACK



VICINITY MAP
North NTS



"ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF MESQUITE, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN."



NOTE:
CONTRACTOR SHALL CALL DIG TESS
PRIOR TO CONSTRUCTION TO LOCATE
ALL FRANCHISE UTILITIES.

!!! CAUTION !!!
UNDERGROUND UTILITIES
EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS PARTIES. THE ENGINEER DOES NOT ASSUME THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR(S) TO VERIFY THE HORIZONTALLY AND VERTICALLY LOCATION OF ALL UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED AND NOTIFY THE ENGINEER OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO UTILITIES SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
CALL: TEXAS ONE CALL • 1-800-245-4545 AT LEAST 48 HRS PRIOR TO CONSTRUCTION.

PROPERTY OWNER:
DON WALK
4000 N. MACARTHUR BLVD., SUITE A132
IRVING, TEXAS 75038
TELEPHONE: (972) 717-7666
FAX: (972) 717-2666
EMAIL: DON@THEASSUREDGROUP.COM

DEVELOPER:
PLATINUM STORAGE
TOWNSEND DR
ROCKWALL, TX 75087
PH: (972) 722-2590
CONTACT: HELLEN BYRD

ENGINEER:
CUMULUS DESIGN, INC.
FIRM NUMBER: 14810
2080 NORTH HIGHWAY 360, SUITE 240
GRAND PRAIRIE, TEXAS 75050
PH: (214) 235-0367
CONTACT: PAUL CRAGUN

BENCHMARK
BM-1 CHISELED SQUARE ON TOP MANHOLE STRUCTURE, 100' NORTH OF THE NORTHEAST CORNER OF THE TOWNE CENTRE DRIVE BRIDGE OVER SOUTH MESQUITE CREEK.
ELEVATION: 480.16
CONTRACTOR SHALL COORDINATE WITH SURVEYOR FOR BENCHMARKS AND ELEVATIONS PRIOR TO CONSTRUCTION. ENGINEER NOT RESPONSIBLE FOR PROVIDING BENCHMARKS AND BEARINGS.

PLOT DATE	06/10/21
DRAWING SCALE	1" = 50'
PROJECT NUMBER	CD20001
SHEET NUMBER	AP

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