

ORDINANCE NO. 3911
Zoning Text Amendment No. 2007-6

AN ORDINANCE OF THE CITY OF MESQUITE, TEXAS, AMENDING THE MESQUITE ZONING ORDINANCE ADOPTED ON SEPTEMBER 4, 1973, AND RECODIFIED ON NOVEMBER 21, 1988, BY DELETING SECTION 4-100 IN ITS ENTIRETY AND ADDING NEW SECTIONS 4-100 AND 4-1000; THEREBY AMENDING THE PLANNED DEVELOPMENT DISTRICT REGULATIONS; PROVIDING A REPEALER CLAUSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A PENALTY NOT TO EXCEED TWO THOUSAND (\$2,000.00) DOLLARS FOR EACH OFFENSE; AND DECLARING AN EFFECTIVE DATE THEREOF.

WHEREAS, in order that the intended purposes of the Mesquite Zoning Ordinance are best served, it has been determined necessary to amend certain language of said ordinance; and

WHEREAS, the Planning and Zoning Commission did give public notice and did hold a public hearing regarding proposed revisions and has recommended amendment of the ordinance; and

WHEREAS, the City Council did give public notice and did hold a public hearing regarding the proposed amendment.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MESQUITE, TEXAS:

SECTION 1. That the Mesquite Zoning ordinance adopted on September 4, 1973, and recodified on November 21, 1988, be and the same is hereby amended by deleting Section 4-100 in its entirety and adding new Sections 4-100 and 4-1000 to read as follows, said Ordinance in all other respects to remain in full force and effect:

- (1) *Section 4-100.* Amend by deleting the section in its entirety and adding a new Section 4-100 to read as follows:

4-100 DISTRICTS ESTABLISHED

For the purpose of this Ordinance, the following Planned Development District, Overlay Districts and Form-Based Districts are established.

4-101 PD – PLANNED DEVELOPMENT DISTRICT

The PD District is designed to provide flexibility in development planning and the opportunity for the application of planning concepts. PD zoning shall require the submission and approval of a development site plan.

4-102 OVERLAY DISTRICTS

A. FLOOD PLAIN DESIGNATION OVERLAY

There shall be a district known as a FP-Flood Plain District which may be coextensive with or overlap any or all of the foregoing districts or portions thereof and any tract of land or portion thereof may, at the same time, be zoned for the uses in one of the foregoing districts and be zoned FP. Where a tract of land or portion thereof is zoned for the uses of one of the foregoing districts and is also zoned FP, the restrictions contained in the FP district shall be applicable to said tract or portion thereof and shall take precedence over the other zoning district.

B. HISTORIC LANDMARK DESIGNATION OVERLAY

There shall be a district known as a H-Historic Landmark subdistrict which may be coextensive with or overlay any or all of the foregoing districts or portions thereof and any tract of land or portion thereof may, at the same time, be zoned for the uses in one of the foregoing districts and be zoned H. The H designation shall apply to those premises, lots or tracts designated through the procedures set forth in the Historic Preservation Ordinance of the City of Mesquite. Such designation shall not affect the legal use of the property except as provided in the ordinance establishing the subdistrict, in which case the restrictions of the designating ordinances shall take precedence over the other zoning districts.

C. RESTAURANT - PRIVATE CLUB DESIGNATION OVERLAY

There shall be a district known as a R-PC Restaurant-Private Club subdistrict which may be applied in locations as set out in Section 4-500 and which may be coextensive with, or overlay, certain of the foregoing districts or portions thereof as set out in Section 4-500 and any tract of land or portion thereof may, at the same time, be zoned for the uses in those certain foregoing districts and be zoned R-PC.

D. HOTEL - PRIVATE CLUB OVERLAY

E. MESQUITE ARENA - RODEO ENTERTAINMENT OVERLAY

F. TOWN EAST RETAIL AND RESTAURANT OVERLAY

G. MILITARY PARKWAY – SCYENE CORRIDOR OVERLAY

4-103 FORM-BASED DISTRICTS

A. TRUMAN HEIGHTS NEIGHBORHOOD

There shall be a district known as the THN – Truman Heights Neighborhood District which constitutes one of the instruments for implementing the public purposes and objectives of the Truman Heights Neighborhood Plan adopted by the City Council on March 19, 2007. The form-based elements of the THN district are designed exclusively for the residential area and adjacent commercial corridors that comprise the Truman Heights Neighborhood Sustainability Zone. There shall be only one contiguous THN district within the City. Any expansion of the district shall be bounded at least on one side by an existing THN district boundary.

(2) *Section 4-1000.* Amend by adding a new Section 4-1000 to read as follows:

4-1000 TRUMAN HEIGHTS NEIGHBORHOOD FORM-BASED DISTRICT

4-1001 PURPOSE AND SCOPE

The core of the Truman Heights neighborhood is located in the triangle between N. Galloway Avenue on the west, U.S. Highway 80, and Hillcrest Avenue on the south. In March 2007, the City Council adopted the Truman Heights Neighborhood Plan as a revitalization strategy for improving the neighborhood. Truman Heights is part of a larger, yet walkable, neighborhood sustainability zone that encompasses an adjacent commercial corridor on both sides of N. Galloway Avenue in addition to the neighborhood's residential core.

The purpose of the Truman Heights Neighborhood zoning district is to integrate the residential functions and supporting commercial services in a form that increases buildable densities in a pedestrian-oriented, visually attractive environment. With an emphasis on form, rather than the separation of land uses, the district not only encourages, but also mandates building disposition and configuration in a manner that is unique in the City of Mesquite. In doing so, the district is designed to preserve the character of the neighborhood's residential core with contextual infill standards and provide a straightforward, visual prescription for revitalization of the N. Galloway corridor.

4-1002 TRUMAN HEIGHTS NEIGHBORHOOD DISTRICT

The THN zoning classification is a mixed-use district that stands separate and apart from all other zoning districts in the City. It is not an overlay district. The City shall have only one contiguous Truman Heights Neighborhood District.

4-1003 TRUMAN HEIGHTS REVITALIZATION CODE

After the effective date of this ordinance, the uses and buildings on all land rezoned to THN shall conform exclusively to the Truman Heights Revitalization Code, adopted concurrent with the creation of the THN district, and which is incorporated herein as if set forth in full.

SECTION 2. That the Truman Heights Revitalization Code (the "Code"), attached hereto as Exhibit "A," is hereby adopted as the set of regulations controlling the uses, site development, and form of buildings for all land, public and private, within the Truman Heights Neighborhood District, and that the Code shall be amended hereafter in the same manner prescribed for text changes to the Mesquite Zoning Ordinance.

SECTION 3. That all ordinances, or portions thereof, of the City of Mesquite in conflict with the provisions of this ordinance, to the extent of such conflict are hereby repealed. To the extent that such ordinances or portions thereof not in conflict herewith, the same shall remain in full force and effect.

SECTION 4. That should any word, sentence, clause, paragraph, phrase or section of this ordinance be held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this ordinance as a whole or any part or provision hereof other than the part so decided to be invalid, illegal or unconstitutional and shall not affect the validity of the Mesquite Zoning Ordinance as a whole.

SECTION 5. That any person, firm or corporation violating any of the provisions or terms of this ordinance shall be deemed to be guilty of a Class C Misdemeanor and subject to the same penalty as provided for in the Mesquite Zoning Ordinance, as amended, and upon conviction in the Municipal Court shall be punished by a fine not to exceed Two Thousand (\$2,000.00) Dollars for each offense.

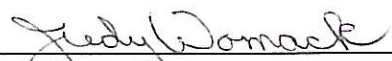
SECTION 6. That this ordinance shall be effective immediately from and after its passage.

DULY PASSED AND APPROVED by the City Council of the City of Mesquite, Texas, on the 5th of November, 2007.



John Monaco
Mayor

ATTEST:



Judy Womack
City Secretary

APPROVED:



B. J. Smith
City Attorney



DRAFT

TRUMAN HEIGHTS
REVITALIZATION CODE

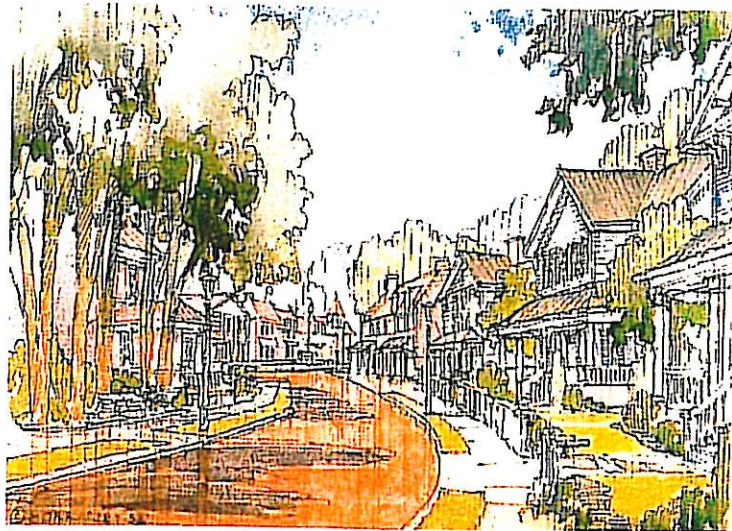


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ARTICLE I. GENERAL PROVISIONS
TRUMAN HEIGHTS REVITALIZATION CODE: *City of Mesquite*

1.1 AUTHORITY

- 1.1.1 This Truman Heights Revitalization Code (hereinafter, "the Code") is enacted as one of the instruments for implementing the public purposes and objectives of the adopted Truman Heights Neighborhood Plan. The Code is declared to be consistent with the Truman Heights Neighborhood Plan, and except as noted herein, supplants the application of all provisions of the Mesquite Zoning Ordinance as it pertained to land within the boundaries of the Truman Heights Neighborhood District (hereinafter, "the District") prior to the effective date of this Code.
- 1.1.2 This Code is adopted to promote the health, safety and general welfare of the City of Mesquite, Texas and its citizens, including without limitation, the preservation of neighborhood character, protection of the environment, conservation of land, energy and natural resources, reduction in vehicular traffic congestion, more efficient use of public funds, health benefits of a pedestrian-oriented environment, historic preservation, education and recreation, reduction in sprawl development and visual clutter, and improvement of the built environment and human habitat.
- 1.1.3 This Code, including Infill Regulating Plans and Transect standards, may be amended after notice and public hearing in accordance with Section 5-302 of the Mesquite Zoning Ordinance.

1.2 APPLICABILITY

- 1.2.1 The functions and buildings on all land within the THN — Truman Heights Neighborhood zoning classification shall conform exclusively to this Code.
- 1.2.2 Provisions of this Code are activated by 'shall' when required; 'should' when recommended; and 'may' when optional.
- 1.2.3 The provisions of this Code, when in conflict, shall take precedence over those of other codes, ordinances, regulations and standards except where the Director determines that the application of this rule will result in a material threat to life, safety, or the destruction of public or private property.
- 1.2.4 The Mesquite Zoning Ordinance and Mesquite Subdivision Ordinance shall continue to be applicable to issues not covered by this Code.

1.3 INTENT

The purpose of this Code is to enable, encourage and quantify the implementation of the following policies within the District:

1.3.1 The Community

- a. That Infill Traditional Neighborhood Developments shall be compact, pedestrian-oriented and mixed-use.
- b. That Infill TNDs shall be the preferred pattern of development and that districts specializing in single-use or limited uses should be the exception.
- c. That ordinary activities of daily living shall occur within walking distance of most dwellings, allowing independence to those who do not drive, and giving residents with automobiles a range of mobility options.
- d. That interconnected networks of Roadways shall be designed to disperse and reduce the length of automobile trips.
- e. That within Neighborhoods, a range of housing types and price levels shall be provided to accommodate diverse ages and incomes.
- f. That appropriate building Densities and land uses shall be provided within walking distance of possible future public transportation.
- g. That Civic, institutional, and Commercial activity shall be embedded in Traditional Neighborhood Developments, not isolated in remote single-use complexes.

ARTICLE I. GENERAL PROVISIONS
TRUMAN HEIGHTS REVITALIZATION CODE: *City of Mesquite*

- h. That schools shall be sized and located to enable children to walk or bicycle to them, and promote schools as essential to neighborhood vitality.
 - i. That a range of open space including parks, squares, and playgrounds shall be distributed within Neighborhoods.
 - 1.3.2 **The Block and the Building**
 - a. That buildings and landscaping shall contribute to the physical definition of Roadways as Civic Spaces.
 - b. That development shall adequately accommodate automobiles while giving the pedestrian and the spatial form of public space preeminence.
 - c. That the design of streets and buildings shall reinforce safe environments, but not at the expense of accessibility.
 - d. That architecture and landscape design shall grow from local climate, topography, history, and building practice.
 - e. That buildings shall provide their inhabitants with a clear sense of geography and climate through energy efficient methods.
 - f. That Civic Buildings and public gathering places shall be provided locations that reinforce community identity and support self-government.
 - g. That Civic Buildings shall be distinctive and appropriate to a role more important than the other buildings that constitute the fabric of the city.
 - h. That the preservation and renewal of neighborhood buildings shall be facilitated to affirm the continuity, evolution, and viability of the neighborhood.
 - i. That the harmonious and orderly evolution of urban areas shall be secured through graphic codes that serve as guides for change.
- 1.4 **DEVELOPMENT PROCESS**
 - 1.4.1 The standards for this Code have been determined as set forth in Article 2 and Article 3 through a process of public hearing and approval by the City Council. Projects that require no deviation from the requirements of the Code shall be processed administratively as a site plan. The site plan submittal shall consist of such information as the Director may require in order to evaluate compliance with this Code. If the project requires new infrastructure, or if the viability of the project is affected by development regulations external to this Code, the Director may provide for concurrent review of the project by the Development Review Committee, in which case the procedures of Section 4-202(B) of the Mesquite Zoning Ordinance shall apply.
 - 1.4.2 A deviation from the requirements of this Code may be approved by either Warrant or Variance. The Director shall determine whether a deviation requires a Warrant or Variance.
 - 1.4.3 A Warrant is an administrative ruling that would permit a practice that is not consistent with or covered by a specific provision of this Code, but is justified by its Intent (Section 1.3). Variances may be granted in accordance with the procedures set forth in Section 5-402 of the Zoning Ordinance.
 - 1.4.3 The Director shall have the authority administratively to approve or disapprove a request for a Warrant. Such decision shall be made in writing and made a permanent part of the applicable Infill Regulating Plan.
 - 1.4.4 The Board of Adjustment is not authorized to grant relief from the following standards and requirements:
 - a. The maximum dimensions of traffic lanes. (See Table 2-2)
 - b. The required provision of Rear Drives.
 - c. The permission to build Accessory Buildings.

ARTICLE I. GENERAL PROVISIONS
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- d. The minimum requirements for parking (See Table 3-1) and the Parking Standards in Section 3.5.
- e. A building or specific function not permitted. (See Tables 3-1 and 3-2.)
- f. The minimum requirements for height in the primary grid.
- g. The Architectural Standards in Section 3.6.
- h. The Signage Standards in Section 3.8.

1.5 INCENTIVES

- 1.5.1 To encourage the implementation of this Code, the City Council, in its sole discretion, may grant one or more incentives in accordance with adopted policies for neighborhood and economic revitalization, and to the extent authorized by state law. The project owner, or the Director on his initiative, may submit an application for incentives to the City Council for consideration.

ARTICLE 2. INFILL COMMUNITY SCALE PLANS
TRUMAN HEIGHTS REVITALIZATION CODE: *City of Mesquite*

2.1 SECTOR ALLOCATION AND SPATIAL HIERARCHY

2.1.1 The Truman Heights Neighborhood District falls within the following SmartCode hierarchy:

Infill Growth Sector	G4
Community Types	Infill Traditional Neighborhood Development
Transect Zones	T-4, General Urban T-1, Natural Zone

2.1.2 The planning principles and standards of the SmartCode as they pertain to the Sector, Community Type and Transect Zones designated in this section shall guide the development of the Infill Regulating Plans, provide valuable rationale for evaluating applications to rezone additional properties into the District, and aid in the interpretation of this Code.

2.2 REVITALIZATION PLANNING

2.2.1 The Community Development Department shall prepare or have prepared on its behalf, Infill Regulating Plans to guide development of the Truman Heights Neighborhood (refer to pages 18 and 19).

2.2.2 Infill Regulating Plans shall consist of one or more maps showing the following elements:

- a. The outline(s) of the Neighborhood Sustainability Zone and the boundaries of the Community or Communities
- b. Transect Zones and Civic Zones within each Neighborhood Sustainability Zone, assigned according to an analysis of existing conditions and future needs
- c. A Roadway network, existing or planned (Table 2-2, Table 2-3A, Table 2-3B, and Table 2-3C)
- d. Special Requirements (Section 2.8)
- e. A record of Warrants approved by the Director or Variances granted by the Board of Adjustment

2.2.3 Within any area subject to an approved Infill Regulating Plan, this Code becomes the exclusive and mandatory regulation. Property owners within the plan area may submit Building Scale Plans under Article 3 in accordance with the provisions of this Code.

2.3 COMMUNITY TYPES

The Infill Regulating Plans for the District shall encompass the following Community types:

2.3.1 Infill Traditional Neighborhood Development (TND)

- a. An Infill TND shall be assigned to that portion of the Truman Heights Neighborhood that is predominantly residential with one or more Mixed Use Corridors or centers. The Infill TND shall be mapped so as to include at least one complete Neighborhood Sustainability Zone, oriented around one or more existing or planned Common Destinations.
- b. The edges of an Infill TND should blend into adjacent neighborhoods and/or a downtown without buffers.


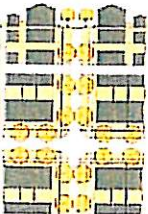
2.4 TRANSECT ZONES

2.4.1 The Director shall calibrate Transect Zone standards for Infill Regulating Plans by means of a survey of exemplary existing and intended conditions. Approved metrics shall be recorded in Appendix 2.

2.4.2 A Transect Zone shall include elements indicated by Article 2, Article 3 and the Appendices.

ARTICLE 2. INFILL COMMUNITY SCALE PLANS
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TABLE 2-1: Transect Zone Descriptions: The following describes the Intent of each Transect Zone within the District.

T1		<p>T-1 NATURAL</p> <p>General Character: Natural landscape with some agricultural use</p> <p>Building Placement: Not applicable</p> <p>Frontage Types: Not applicable</p> <p>Typical Building Height: Not applicable</p> <p>Type of Civic Space: Parks, Greenways</p>
T4		<p>T-4 GENERAL URBAN</p> <p>General Character: Mix of Houses, Townhouses & small Apartment buildings, with scattered Commercial activity; balance between landscape and buildings; presence of pedestrians</p> <p>Building Placement: Shallow to medium front and side yard Setbacks</p> <p>Frontage Types: Porches, fences, Dooryards</p> <p>Typical Building Height: 2- to 3-Story with a few taller Mixed Use buildings</p> <p>Type of Civic Space: Squares, Greens</p>

2.5 ROADWAY STANDARDS

2.5.1 General

- a. Roadways shall be designed and constructed in context with the urban form and desired design speed of the District, as specified in Table 2-3c.
- b. Within the District pedestrian comfort shall be a primary consideration of the Roadway. Design conflict between vehicular and pedestrian movement generally shall be decided in favor of the pedestrian.
- c. The Roadway network shall be designed to define Blocks not exceeding the size prescribed in Appendix 2(C). The perimeter shall be measured as the sum of Lot Frontage Lines. Where the edge of the District merges with a non-grid street network, dimensions of the block perimeter that do not comply with this standard shall be approved by Warrant.
- d. All Roadways shall terminate at other Roadways, forming a network. Internal Roadways shall connect to those on adjacent sites. Cul-de-sacs may be approved by Warrant to accommodate specific site conditions only.
- e. Each Lot shall Enfront a vehicular Roadway. Lots within the District may Enfront a Passage by Warrant.
- f. The Roadway standards and assemblies shall not be construed to prohibit the use of traffic control devices that alter the effective pavement or right-of-way width.
- g. Paths and Bicycle Trails shall be permitted in the T-1 Natural Zone to provide a connection for neighborhood residents to neighborhood services.
- h. Paths and Bicycle Trails in the T-4 General Urban Zone shall be approved by Warrant.

ARTICLE 2. INFILL COMMUNITY SCALE PLANS
 TRUMAN HEIGHTS REVITALIZATION CODE: *City of Mesquite*

2.5.2 Vehicular Lanes

- a. The standards for vehicular lanes shall be as shown in Table 2-2.
- b. A bicycle network consisting of Bicycle Trails, Bicycle Routes and Bicycle Lanes shall be provided throughout the District as specified in Appendix 2(D). The community bicycle network shall be connected to existing or proposed regional networks.

2.5.3 Public Frontages

- a. Public Frontages shall be designed as shown in Tables 2-3A, 2-3B and 2-3C and allocated within the General Urban Transect Zone as specified in Appendix 2(D).
- b. Within the Public Frontages, the prescribed types of public planting and public lighting shall be as shown in Table 2-3A, Table 2-3B, Table 2-3C, Table 3-8A, Table 3-8B and Table 3-9. The spacing may be adjusted by Warrant to accommodate specific site conditions.
- c. The introduced landscape shall consist primarily of drought-resistant species as shown in Tables 3-8A and 3-8B.
- d. The Public Frontage shall include trees planted in a regularly-spaced Allee pattern of single or alternated species with shade canopies of a height that, at maturity, clears at least one Story.
- e. Tree spacing shall begin no less than 30 feet from a stop or yield sign at an intersection.

TABLE 2-2: Vehicular Lane Dimensions: This table assigns lane widths to the District. The Design ADT (Average Daily Traffic) is the determinant for each of these sections. Specific requirements for truck and transit bus routes and truck loading shall be decided by Warrant.

DESIGN SPEED	TRAVEL LANE WIDTH	THND
25 mph	8 feet	BY WARRANT
25 mph	9 feet	BY RIGHT
25-35 mph	10 feet	BY RIGHT
35 mph	11 feet	BY WARRANT

DESIGN SPEED	PARKING LANE WIDTH	THND
25 mph	(Parallel) 7 feet	BY RIGHT
25-35 mph	(Parallel) 8 feet	BY RIGHT

DESIGN SPEED	CURB RADIUS	THND
25 mph	10-15 feet	BY RIGHT
25-35 mph	15-20 feet	BY RIGHT

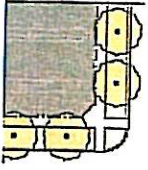
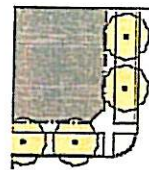
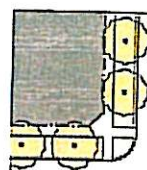
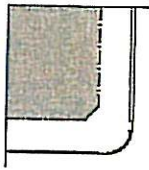
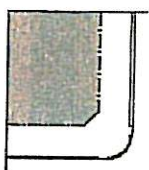
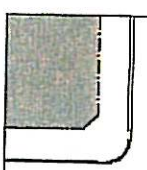
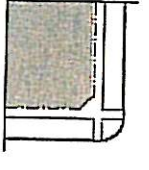
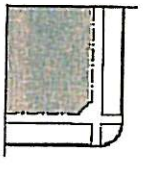
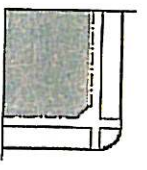
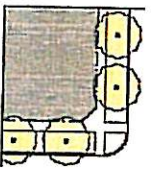
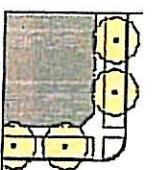
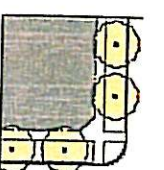
ARTICLE 2. INFILL COMMUNITY SCALE PLANS
TRUMAN HEIGHTS REVITALIZATION CODE: *City of Mesquite*

TABLE 2-3A: Public Frontages – General: The Public Frontage is the area between the private Lot line and the edge of the vehicular lanes. Dimensions are given in Table 2-3B.

PLAN	
LOT	R.O.W.
PRIVATE FRONTAGE	PUBLIC FRONTAGE
<p>(ST) For Street: This Frontage has raised Curbs drained by Inlets and Sidewalks separated from the vehicular lanes by individual or continuous Planters, with parking on one or both sides. The landscaping consists of street trees of a single or alternating species aligned in a regularly spaced Allee.</p>	
<p>(AV) For Avenue: This Frontage has raised Curbs drained by Inlets and wide Sidewalks separated from the vehicular lanes by a narrow continuous Planter with parking on both sides. The landscaping consists of a single tree species aligned in a regularly spaced Allee.</p>	

ARTICLE 2. INFILL COMMUNITY SCALE PLANS
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TABLE 2-3B: Public Frontages – Specific: This table assembles prescriptions and dimensions for the Public Frontage elements - Curbs, walkways and Planters – relative to specific Roadway types within the District. Table 2-3B-a assembles all of the elements for the various street types.

	Hillcrest	Hillview and Stephenson	Galloway
<p>a. Assembly: The principal variables are the type and dimension of curbs, walkways, planters and landscape.</p> <p align="right">Total Width</p>	 12 feet	 10 feet	 13 feet
<p>b. Curb: The detailing of the edge of the vehicular pavement, incorporating drainage.</p> <p align="right">Type Radius</p>	 Raised Curb 15 feet	 Raised Curb 15 feet	 Raised Curb 15 feet
<p>c. Walkway: The pavement dedicated exclusively to pedestrian activity.</p> <p align="right">Type Width</p>	 Sidewalk 6 feet	 Sidewalk 5 feet	 Sidewalk East - 6 feet West - 10 feet
<p>d. Planter: The layer which accommodates street trees and other landscape.</p> <p align="right">Arrangement Species Planter Type Planter Width</p>	 Trees at 30' o.c. Avg. Single Continuous Planter 6 feet	 Trees at 30' o.c. Avg. Single Continuous Planter 5 feet	 Trees at 30' o.c. Avg. Single Continuous Planter 7 feet
<p>Landscape: The recommended plant species.</p>	Golden Rain	Purple Leaf Plum	Chinese Pistachio
<p>Lighting: The recommended public lighting.</p>	Post (Illustration in Table 3-9)	Column (Illustration in Table 3-9)	Post (Illustration in Table 3-9)

ARTICLE 2. INFILL COMMUNITY SCALE PLANS
TRUMAN HEIGHTS REVITALIZATION CODE: *City of Mesquite*

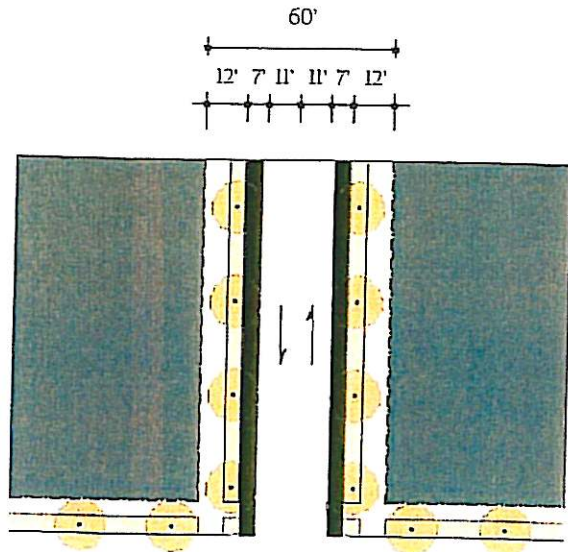
TABLE 2-3C: Roadway Assemblies: These Roadways are assembled from the elements that appear in Table 2-2 and incorporate the Public Frontages of Tables 2-3A and 2-3B. The key gives the Roadway type followed by the right-of-way width, followed by the pavement width, and in some instances followed by specialized transportation capability.

HILLCREST

KEY		ST-57-20-BL
Roadway Type		.
Right of Way Width		•
Pavement Width		•
Transportation		•

ROADWAY TYPES	
Avenue:	AV
Street:	ST
Rear Drive:	RD
Bicycle Trail:	BT
Bicycle Lane:	BL
Bicycle Route:	BR
Path:	PT
Transit Route:	TR

GRAPHICS	
Bike Lane:	
Parallel Parking:	



Roadway Type	ST-60-36-BL Collector Street
Transect Zone Assignment	General Urban Transect Zone
Right-of-Way Width	60 feet
Pavement Width	36 feet
Movement	Moderate Movement
Design Speed	25-35 MPH
Pedestrian Crossing Time	10.3 seconds
Traffic Lanes	2 lanes
Parking Lanes	None
Bike Lanes	2 lanes @ 7 feet striped
Curb Radius	15 feet
Private Frontage Type	Shopfront, Terrace
Walkway Type	6 foot Sidewalk
Planter Type	6 foot Continuous Planter
Curb Type	Curb
Landscape Type	Trees at 30' o.c. Avg.
Access to Service and Parking	Rear Drive
Transportation Provision	BL

ARTICLE 2. INFILL COMMUNITY SCALE PLANS
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TABLE 2-3C: Roadway Assemblies (continued)

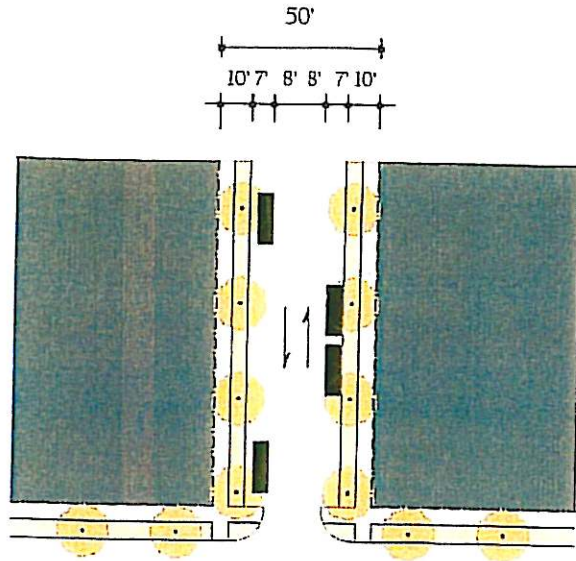
HILLVIEW AND STEPHENSON

The excess right-of-way shall be allocated to the following components of the Roadway Assembly: Planter

KEY	ST-57-20-BL
Roadway Type	.
Right of Way Width	.
Pavement Width	.
Transportation	.

ROADWAY TYPES	
Avenue:	AV
Street:	ST
Rear Drive:	RD
Bicycle Trail:	BT
Bicycle Lane:	BL
Bicycle Route:	BR
Path:	FT
Transit Route:	TR

GRAPHICS	
Bike Lane:	
Parallel Parking:	



ST-50-30-BR	
Roadway Type	Local Street
Transect Zone Assignment	General Urban Transect Zone
Right-of-Way Width	50 feet
Pavement Width	30 feet
Movement	Yield Movement
Design Speed	25 MPH
Pedestrian Crossing Time	8.6 seconds
Traffic Lanes	2 lanes
Parking Lanes	2 lanes @ 7 feet unmarked
Bike Lanes	None
Curb Radius	15 feet
Private Frontage Type	Stoop, Terrace, Porch & Fence, Shopfront
Walkway Type	5 foot Sidewalk
Planter Type	5 foot Continuous Planter
Curb Type	Curb
Landscape Type	Trees at 30' o.c. Avg.
Access to Garage	Driveway (shall be no wider than 10 ft. in the first layer)
Transportation Provision	BR

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TRUMAN HEIGHTS REVITALIZATION CODE: *City of Mesquite*

TABLE 2-3C: Roadway Assemblies (continued)

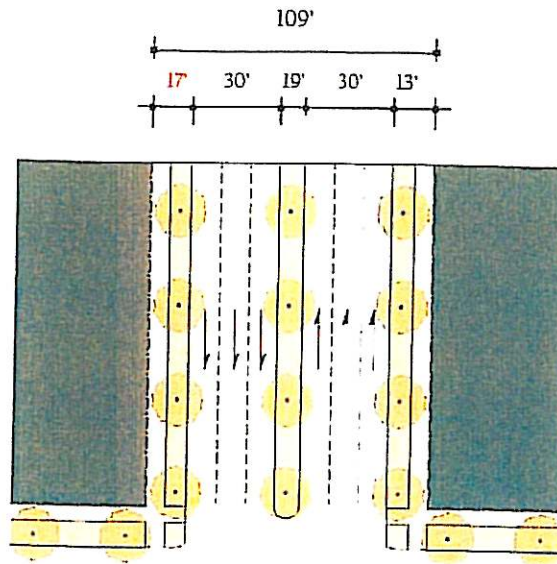
N. GALLOWAY AVENUE

In the event the Travel Lanes along N. Galloway Ave. are increased and the Median width is decreased, the Median along N. Galloway Ave. shall not be reduced to less than 8 feet. Additionally, the assembly requires a 10' Sidewalk along the west side of N. Galloway Ave. to accommodate the Trails Master Plan. If the Trail width is reduced, the Sidewalk shall not be less than 6 feet in order to match the east side of the assembly.

KEY	ST-57-20-BL
Roadway Type	*
Right of Way Width	*
Pavement Width	*
Transportation	*

ROADWAY TYPES	
Avenue:	AV
Street:	ST
Rear Drive:	RD
Bicycle Trail:	BT
Bicycle Lane:	BL
Bicycle Route:	BR
Path:	PT
Transit Route:	TR

GRAPHICS	
Bike Lane:	
Parallel Parking:	



AV-109-60-BR	
Roadway Type	Arterial Avenue
Transect Zone Assignment	General Urban Transect Zone
Right-of-Way Width	109 feet
Pavement Width	60 feet
Movement	Moderate Movement
Design Speed	35 MPH
Pedestrian Crossing Time	16 seconds
Traffic Lanes	6 lanes
Parking Lanes	None
Bike Lanes	None
Curb Radius	15 feet
Private Frontage Type	Shopfront, Terrace
Walkway Type	East - 6 foot Sidewalk West - 10 foot Sidewalk
Planter Type	7 foot Continuous Planter
Curb Type	Curb
Landscape Type	Trees at 30' o.c. Avg.
Access to Service and Parking	Rear Drive
Transportation Provision	BR

ARTICLE 2. INFILL COMMUNITY SCALE PLANS
TRUMAN HEIGHTS REVITALIZATION CODE: *City of Mesquite*

TABLE 2-3C: Roadway Assemblies (continued)

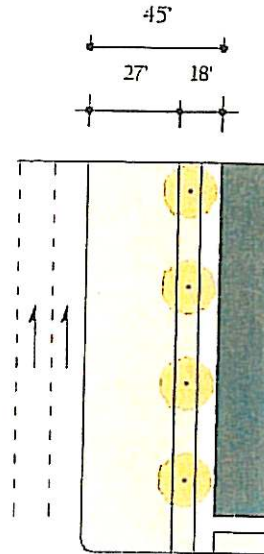
HIGHWAY 80

Highway 80 is the only Roadway within the District that is designated in the Secondary-Grid.

KEY	ST-57-20-BL
Roadway Type	•
Right of Way Width	•
Pavement Width	•
Transportation	•

ROADWAY TYPES	
Avenue:	AV
Street:	ST
Rear Drive:	RD
Bicycle Trail:	BT
Bicycle Lane:	BL
Bicycle Route:	BR
Path:	PT
Transit Route:	TR

GRAPHICS	
Bike Lane:	
Parallel Parking:	



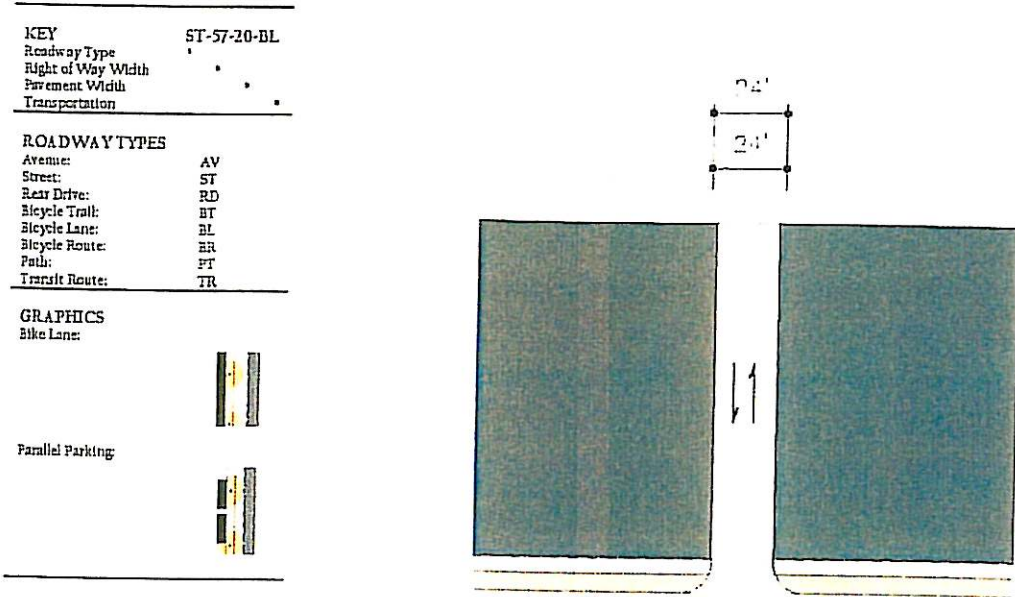
Roadway Type	Highway
Transect Zone Assignment	General Urban Transect Zone
Right-of-Way Width	27 feet
Pavement Width	N/A
Movement	High Movement
Design Speed	Above 35 MPH
Pedestrian Crossing Time	N/A
Traffic Lanes	2 lanes, one way
Parking Lanes	None
Bike Lanes	None
Curb Radius	N/A
Private Frontage Type	Shopfront, Terrace
Walkway Type	8 foot Sidewalk
Planter Type	10 foot Continuous Planter
Curb Type	Curb
Landscape Type	Trees at 30' o.c. Avg.
Recommended Planter Species	Red Bud
Recommended Public Lighting	Post (Illustration in Table 3-9)
Access to Service and Parking	Rear Drive
Transportation Provision	None

ARTICLE 2. INFILL COMMUNITY SCALE PLANS
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TABLE 2-3C: Roadway Assemblies (continued)

REAR DRIVE

A Rear Drive is put in by the private developer as a means for access to services and parking. A Rear Drive is not intended to be a public alley. Furthermore, private developers may connect Rear Drives for continuous access in the rear of Principal Buildings.



Roadway Type	RD-24-24
Transect Zone Assignment	Rear Drive General Urban Transect Zone
Right-of-Way Width	24 feet
Pavement Width	24 feet
Movement	Very Low Movement
Design Speed	10 MPH
Pedestrian Crossing Time	6.8 seconds
Traffic Lanes	2 lanes
Parking Lanes	None
Bike Lanes	None
Curb Radius	25 feet
Public Frontage Type	None
Walkway Type	None
Planter Type	None
Curb Type	Inverted Crown
Landscape Type	None
Transportation Provision	None

ARTICLE 2. INFILL COMMUNITY SCALE PLANS
 TRUMAN HEIGHTS REVITALIZATION CODE: *City of Mesquite*

2.6 CIVIC ZONES

2.6.1 General

- a. Infill Regulating Plans shall designate Civic Space Zones (CS) and Civic Building Zones (CB).
- b. Additional Civic Zones may be permitted by Warrant if it does not occupy more than 20% of a Neighborhood Sustainability Zone.
- c. Parking for Civic Zones shall be determined by Warrant.

2.6.2 Civic Space Zones (CS)

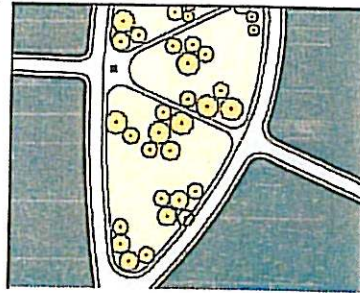
- a. Civic Spaces shall be designed as described in Table 13, their type appropriate for the District.

2.6.3 Civic Building Zones (CB)

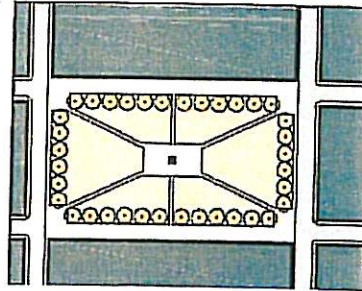
- a. Civic Buildings shall be permitted by Warrant on Civic Zones reserved in the Infill Regulating Plans.
- b. Civic Buildings shall not be subject to the Requirements of Article 3. Building design shall be determined by Warrant.

TABLE 2-4: Civic Space: Within the District Greens, Squares and Playgrounds are permitted.

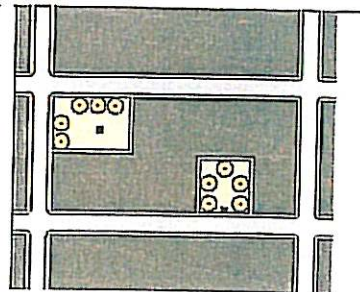
Green: An Open Space, available for unstructured recreation. A Green may be spatially defined by landscaping rather than building Frontages. Its landscape shall consist of lawn and trees, naturalistically disposed. The minimum size shall be 1/2 acre and the maximum shall be 8 acres.



Square: An Open Space available for unstructured recreation and Civic purposes. A Square is spatially defined by building Frontages. Its landscape shall consist of Paths, lawns and trees, formally disposed. Squares shall be located at the intersection of important Thoroughfares. The minimum size shall be 1/2 acre and the maximum shall be 5 acres.



Playground: An open space designed and equipped for the recreation of children. A playground shall be fenced and may include an open shelter. Playgrounds shall be interspersed within residential areas and may be placed within a block. Playgrounds may be included within parks and greens. There shall be no minimum or maximum size.



ARTICLE 2. INFILL COMMUNITY SCALE PLANS
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2.7 UTILITY STANDARDS

- 2.7.1 Utilities in the District shall be placed according to the following specifications:
- a. Franchise utilities shall be placed in the same trench underground. Franchise utilities shall be placed in the alley or a rear easement. If an alley or rear easement is not available, franchise utilities shall be placed under the Sidewalk.
 - b. Water lines shall be placed underneath a median. If a median is not available, water lines shall be placed under the Sidewalk.
 - c. Sanitary and storm sewer lines shall be placed underneath Roadway pavement.

2.8 SPECIAL REQUIREMENTS

- 2.8.1 Projects within the Infill Regulating Plans shall conform to the following special requirements (refer to page 19):
- d. A differentiation of the Roadways as a Primary-Grid (P-Grid), Secondary-Grid (S-Grid), and Tertiary Grid (T-Grid)
 - i. Buildings along the P-Grid shall be held to the highest standard of this Code in support of pedestrian activity. Moreover, additional standards for the Primary Grid shall be located in Sections 3.5(c), 3.5(e), 3.6.1, 3.7(e) and 3.8(b).
 - ii. Buildings along the S-Grid may be more readily considered for Warrants and Variances allowing automobile-oriented standards. Furthermore, additional standards for the Secondary Grid shall be located in Sections 3.3.1(h), 3.5 (c), 3.5(g), 3.6.1, 3.7(e) and 3.8(c).
 - iii. Along the T-Grid, non-residential functions shall comply with Section 3.3.3(b) and 3.8(a) and buildings shall comply with Sections 3.3.2(c), 3.3.3(b), 3.6.2 and 3.6.3.
 - e. Designations for Mandatory Retail-Office Shopfront Frontage
 - i. A building shall provide a Shopfront at Sidewalk level along the entire length of its Private Frontage.
 - ii. The Shopfront shall be no less than 70% glazed in transparent glass and may be shaded by an awning overlapping the Sidewalk as generally illustrated in Table 7.
 - iii. The first floor shall be confined to Retail and Office uses through the depth of the second Layer. (Article 4: Illustrated Definitions-d.)
 - f. Designations for Recommended Terminated Vista locations
 - i. All elevations of a building with public frontage on both the S-Grid and a Terminated Vista shall be considered principal facades for purposes of the Community Appearance Manual.

2.9 PRE-EXISTING CONDITIONS

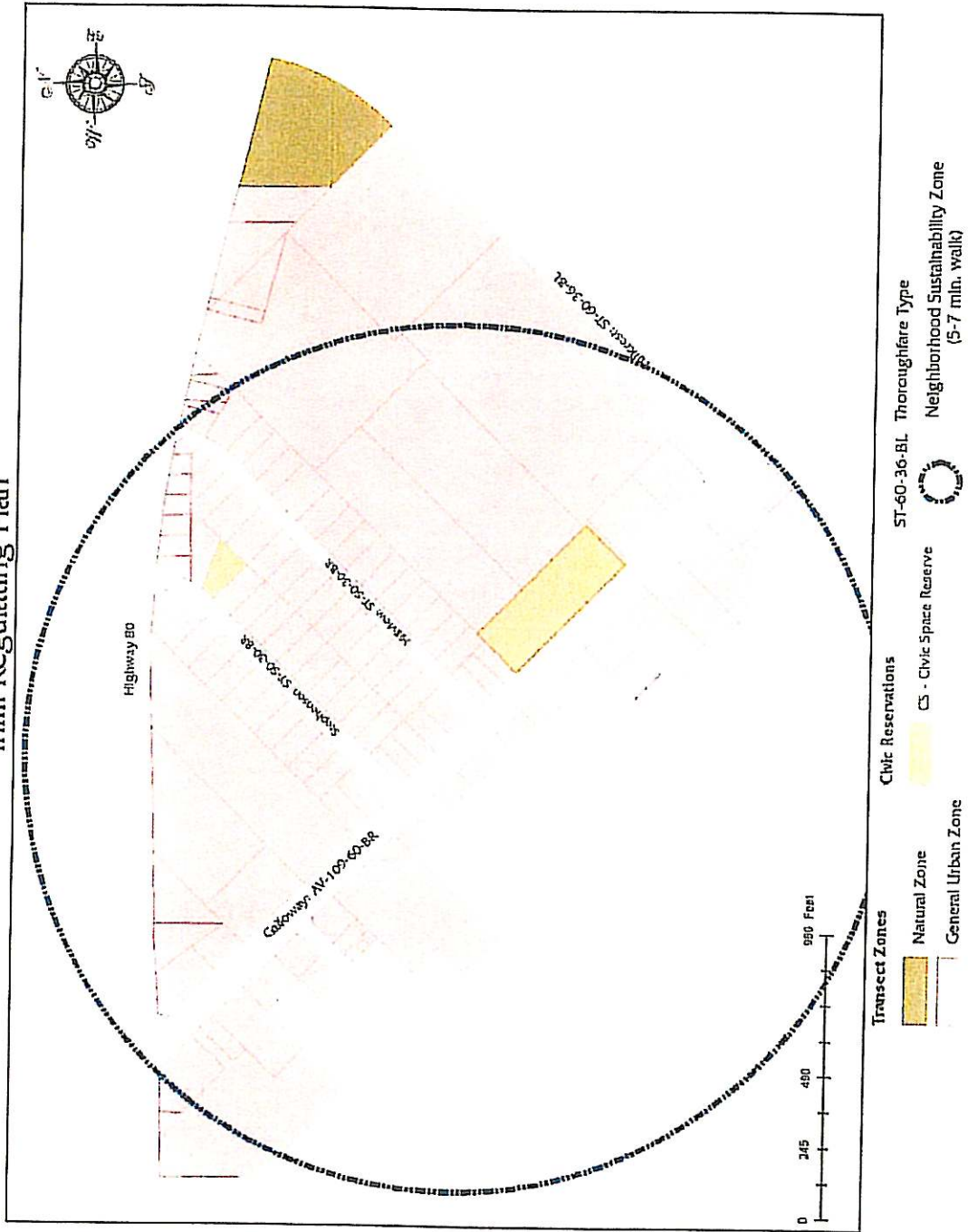
- 2.9.1 Existing buildings and functions that do not conform to the provisions of this Code may continue as provided in this Section. At such time as an expansion or Substantial Modification is requested, the building shall comply with the provisions of this Code. Functions shall terminate as provided in Section 1-304 of the Zoning Ordinance.
- 2.9.2 The modification of existing buildings is permitted if such changes result in greater conformance with the specifications of this Code.
- 2.9.3 Any addition to or modification of a Building of Value that has been designated as such by Historic Mesquite, Inc. or to a building actually or potentially eligible for inclusion on a state, local or national historic register, shall be subject to approval by Historic Mesquite, Inc.
- 2.9.4 The restoration or rehabilitation of an existing building shall not require the provision of:
- a. Parking in addition to that existing, or

ARTICLE 2. INFILL COMMUNITY SCALE PLANS
TRUMAN HEIGHTS REVITALIZATION CODE: *City of Mesquite*

- b. On-site stormwater retention/detention in addition to that existing.
- 2.9.5 Existing parking requirements that exceed those for this Code may be reduced as provided by Tables 3-4 and 3-7.

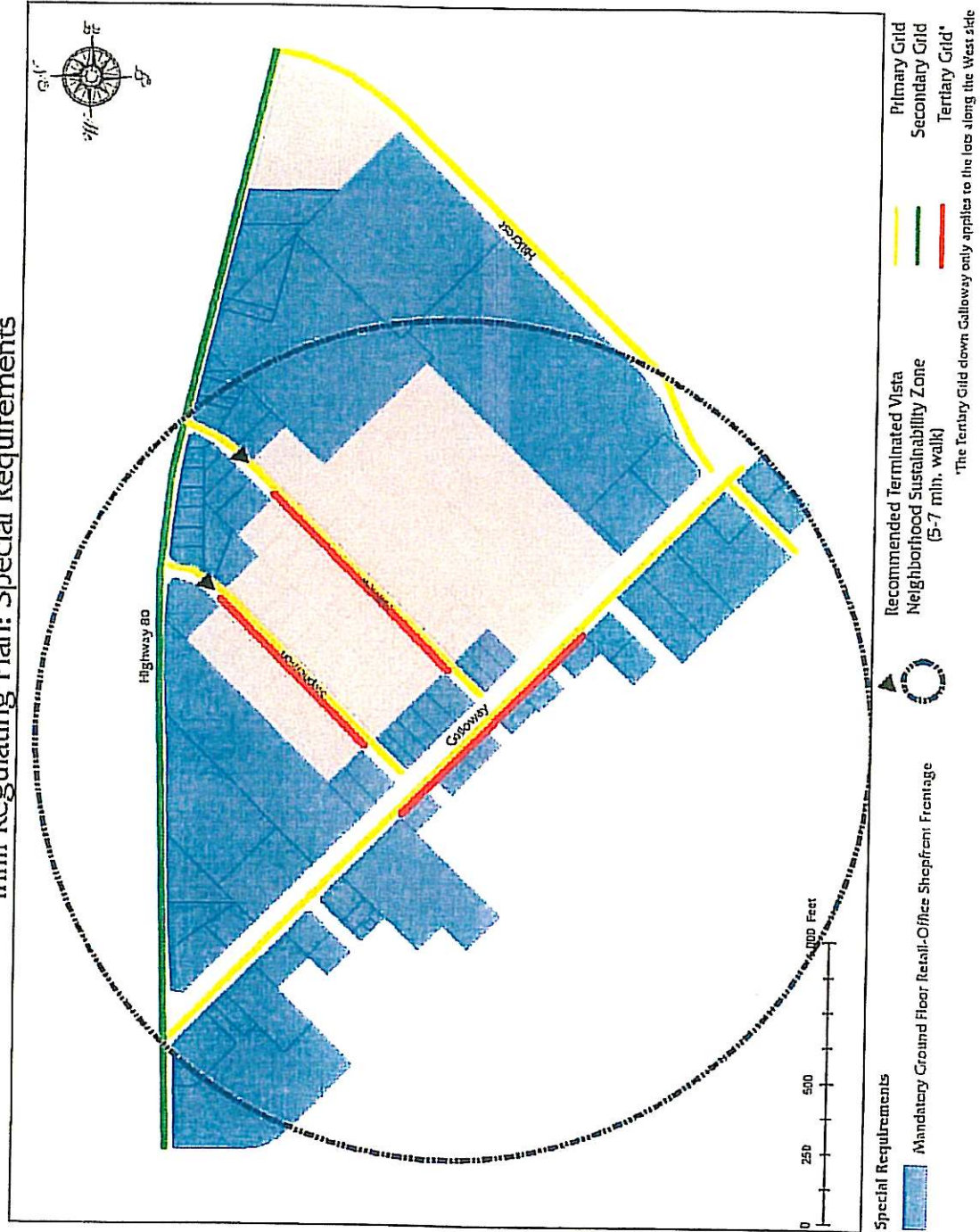
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Truman Heights Neighborhood District
 Infill Regulating Plan



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Truman Heights Neighborhood District
 Infill Regulating Plan: Special Requirements



ARTICLE 3. BUILDING SCALE PLANS
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3.1 APPLICATION

- 3.1.1 Lots and buildings located within Infill Regulating Plans prescribed for the District shall be subject to the requirements of this Article.
- 3.1.2 Applicants may, at their option, request a pre-submittal meeting with the Community Development Department. The pre-submittal meeting is not mandatory, and shall not constitute a permit under Chapter 245 of the Local Government Code.
- 3.1.3 An applicant shall make a complete submittal, which shall consist of Building and Site Plans showing the following information, in addition to such other information as the Director may require, in order to evaluate compliance with the standards described in this Article:
 - a. Building Disposition
 - b. Building Configuration
 - c. Building Function
 - d. Parking Location Standards
 - e. Architectural Standards
 - f. Landscape Standards
 - g. Signage Standards
 - h. Ambient Standards
 - i. Utility Standards
- 3.1.4 The Director may reduce the submittal requirements for residential functions in the Tertiary Grid, according to the complexity of the project.

3.2 SPECIFIC TO THE NATURAL TRANSECT ZONE

- 3.2.1 Buildings are prohibited in the Natural Transect Zone.

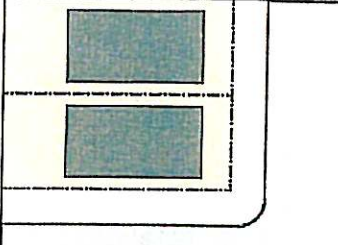
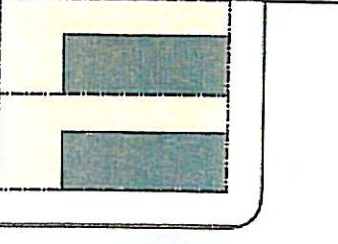

3.3 SPECIFIC TO THE GENERAL URBAN TRANSECT ZONE

- 3.3.1 Building Disposition
 - a. Newly platted Lots shall be dimensioned according to Appendix 2 and Table 3-3.
 - b. Building Disposition shall be limited to the types described in Figure 3-1.
 - c. Buildings shall be disposed in relation to the boundaries of their Lots according to Appendix 2 and Table 3-3.
 - d. On each lot, one Principal Building may be built at the Frontage, and one Outbuilding may be built to the rear of the Principal Building. See Article 4: Illustrated Definitions.
 - e. Lot coverage shall not exceed 70%. See Appendix 2 and Table 3-3.
 - f. Facades shall be built parallel to a rectilinear Principal Frontage line or to the tangent of a curved Principal Frontage line, and along a minimum percentage of the Frontage length at the Setback, as specified on Appendix 2 and Table 3-3.
 - g. Setbacks for Principal Buildings shall be as shown in Appendix 2 and Table 3-3. Setbacks may otherwise be adjusted by Warrant.
 - h. Setbacks for Principal Buildings along the Secondary Grid shall have a Front Setback (P) of 18 feet. Within the 18 foot Setback, a 10 foot Planter and an 8 foot Sidewalk shall be installed by the developer, as shown in Table 2-3C: Highway 80.
 - i. Rear Setbacks for Outbuildings shall be a minimum of 15 feet measured from the centerline of the Rear Drive. In the absence of Rear Drive, the rear Setback shall be as shown in Appendix 2 and Table 3-3.
 - j. To accommodate building on slopes over ten percent, relief from front Setback requirements shall be available by Warrant.

ARTICLE 3. BUILDING SCALE PLANS
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FIGURE 3-1: Building Disposition:

This table approximates the location of the structure relative to the boundaries of each individual Lot, establishing suitable basic building types for the General Urban Transect Zone.

<p>Edgeyard: Specific Types - single family House, collage, villa, estate house, urban villa. A building that occupies the center of its Lot with Setbacks on all sides. This is the least urban of types as the front yard sets it back from the Frontage, while the side yards weaken the spatial definition of the public Thoroughfare space. The front yard is intended to be visually continuous with the yards of adjacent buildings. The rear yard can be secured for privacy by fences and a well-placed Backbuilding and/or Outbuilding.</p>	
<p>Sideyard: Specific Types - Charleston single House, double house, zero-lot-line house, twin. A building that occupies one side of the Lot with the Setback to the other side. A shallow Frontage Setback defines a more urban condition. If the adjacent building is similar with a blank party wall, the yard can be quite private. This type permits systematic climatic orientation in response to the sun or the breeze. If a Sideyard House abuts a neighboring Sideyard House, the type is known as a twin or double House. Energy costs, and sometimes noise, are reduced by sharing a party wall in this Disposition.</p>	
<p>Rearyard: Specific Types - Townhouse, Rowhouse, Live-Work unit, loft building, Apartment House, Mixed Use block, Flex Building, perimeter block. A building that occupies the full Frontage, leaving the rear of the Lot as the sole yard. This is a very urban type as the continuous Facade steadily defines the public Thoroughfare. The rear Elevations may be articulated for functional purposes. In its Residential form, this type is the Rowhouse. For its Commercial form, the rear yard can accommodate substantial parking.</p>	

3.3.2 Building Configuration

- a. The Private Frontage of buildings shall conform to and be allocated in accordance with Figure 3-3 and Appendix 2.
- b. Buildings on corner Lots shall have two Private Frontages. See Article 4: Illustrated Definitions. Prescriptions for the parking Layers pertain only to the Principal Frontage. Prescriptions for the first Layer pertain to both Frontages.
- c. Building Heights shall conform to Table 3-3 and Appendix 2. Principal buildings shall be a minimum of 2 stories, and a maximum of 3 stories, in height, provided that along the Tertiary Grid:
 - i. The Director may approve a single Story building by Warrant, upon request of the applicant; and
 - ii. A 3-story building shall be permitted by Warrant only.
- d. Stories may not exceed 14 feet in height from finished floor to finished floor, except for a first floor Commercial Function, which shall be a minimum of 11 feet and may be a maximum of 25 feet. A single floor exceeding 20 feet in height from ground level to the top of the parapet shall be counted as 2 Stories. Mezzanines extending beyond 33% of the floor area shall be counted as an additional floor. Attics and raised basements are not considered Stories.
- e. In a Parking Structure or garage, each level shall count as a single Story regardless of its relationship to habitable stories.

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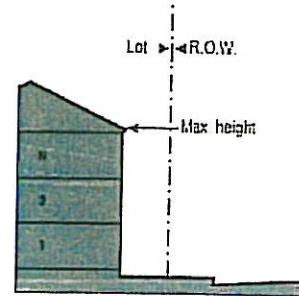
- f. The minimum room areas of a dwelling within a Principal Building or Accessory Unit shall conform to the International Residential Code, but in no case shall the total living area be less than 450 sq. ft. Outbuildings may be any size, but shall not exceed 500 sq. ft.
- g. Balconies, open porches and bay windows may encroach the first Layer 50% of its depth. See Article 4: Illustrated Definitions.
- h. Awnings may Encroach the Sidewalk to within two feet of the Curb but shall clear the Sidewalk vertically by at least 8 feet.

FIGURE 3-2: Building Height

Height shall be measured from the average Enfronting Sidewalk grade to the uppermost cave of a main pitched roof (not of a dormer), or to the uppermost roof deck (not the top of parapet) of a flat roof.

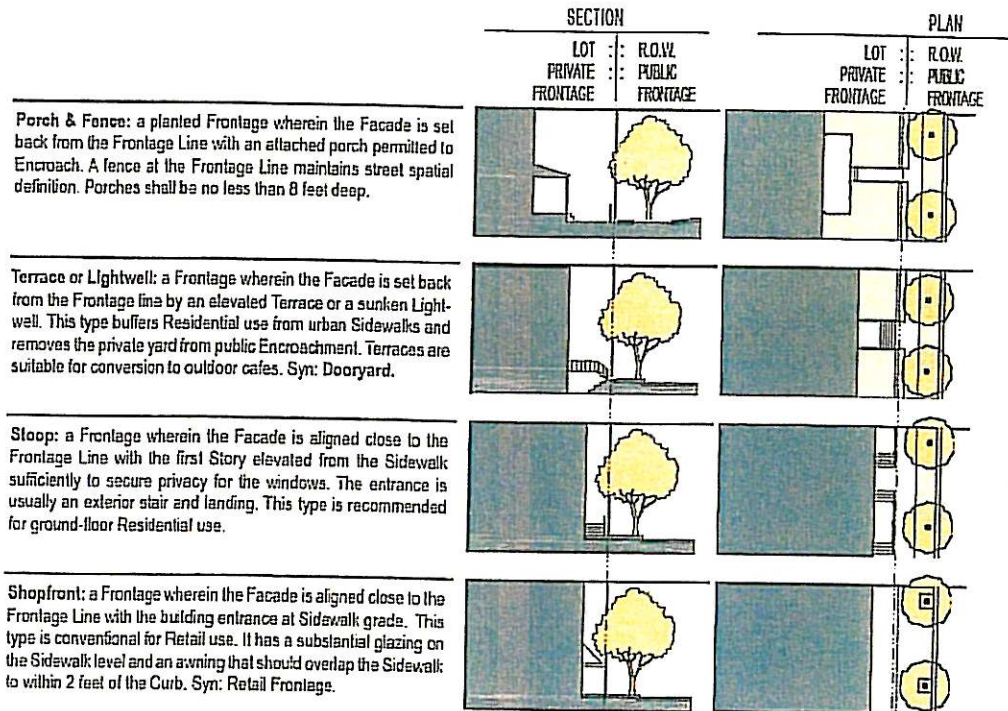
Building height shall be measured in number of Stories, excluding Attics and raised basements. Height limits do not apply to masts, belfries, clock towers, chimney flues, water tanks, elevator bulkheads and similar structures.

N= maximum height as specified in Appendix 2.



ARTICLE 3. BUILDING SCALE PLANS
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FIGURE 3-3: Private Frontages:
The Private Frontage is the area between the building Façades and the Lot lines.



3.3.3 Building Function & Density

- a. Buildings in the General Urban Transect Zone shall conform to the Functions on Tables 3-1 and 3-2 and Appendix 2. Functions permitted by Conditional Use Permit (CUP) shall require
- b. A public hearing and approval by the City Council in accordance with Section 5-300 of the Mesquite Zoning Ordinance shall be required for:
 - i. A Function permitted by Conditional Use Permit (CUP)
 - ii. A non-residential Function to occupy a lot along the Tertiary Grid, if the lot includes a residential function at the time of application, or has been occupied by a residential function during the two years immediately preceding the application,
- c. Accessory Functions shall be permitted within an Outbuilding.
- d. Outdoor display or storage is prohibited, provided that incidental outdoor display is permitted pursuant to Section 3-601 of the Mesquite Zoning Ordinance.

ARTICLE 3. BUILDING SCALE PLANS
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TABLE 3-1: Building Function – General:
This table categorizes Building Functions within the General Urban Transect Zone. Parking requirements are correlated to functional intensity. For Specific Function and Use permitted By Right or by Warrant, see Table 3-2.

THN	
a. Residential	Limited Residential: The number of dwellings on each Lot is limited by the requirement of 1.5 parking places for each dwelling, a ratio which may be reduced according to the shared parking standards (See Table 3-4).
b. Lodging	Limited Lodging: The number of bedrooms available on each lot for Lodging is limited by the requirement of 1.0 assigned parking places for each bedroom, up to twelve, in addition to the parking requirement for the dwelling. The Lodging must be owner occupied. Food service may be provided in the a.m. The maximum length of stay shall not exceed ten days.
c. Office	Limited Office: The building area available for Office use on each Lot is limited by the requirement of 3.0 assigned parking places per 1000 square feet of net Office space in addition to the parking requirement for each dwelling.*
d. Retail	Limited Retail: The building area available for Retail use on each Lot is limited by the requirement of 4.0 assigned parking places per 1000 square feet of net Retail space in addition to the parking requirement of each dwelling.*
	*Within the Tertiary Grid, the building area available for Office or Retail use on each Lot is limited to the first Story of the principal building and by the above parking requirements.
e. Civic	See Table 3-2
f. Other	See Table 3-2

ARTICLE 3. BUILDING SCALE PLANS
TRUMAN HEIGHTS REVITALIZATION CODE: City of Mesquite

TABLE 3-2: Specific Function:

This table expands the Building Function categories of Table 3-1 to delegate specific Functions within the General Urban Transit Zone.

a. Residential	By Right	By CUP
Mixed Use Block	X	
Flex Building	X	
Apartment Building	X	
Live-Work Unit	X	
Row House	X	
Duplex House	X	
Courtyard House		
Sideyard House	X	
Cottage	X	
House	X	
Villa		
Accessory Unit	X	

b. Lodging	By Right	By CUP
Hotel (no room limit)		
Inn (up to 12 rooms)	X	
Bed & Breakfast (up to 5 rooms)	X	
School Dormitory	X	

c. Office	By Right	By CUP
Office Building	X	
Live-Work Unit	X	
Membership Organizations	X	

d. Retail	By Right	By CUP
Open-Market Building	X	
Retail Building, e.g. grocery store, personal services	X	
Display Gallery	X	
Restaurant	X	
Kiosk	X	
Push Cart		
Used Merchandise		X
Shopping Center	X	
Sexually Oriented Business		

e. Civic	By Right	By CUP
Transit Stop	X	
Convention Center		
Conference Center		
Exhibition Center		
Fountain or Public Art	X	
Library	X	
Live Theater		
Museum		
Outdoor Auditorium		
Parking Structure		X
Passenger Terminal		
Playground	X	
Sports Stadium		
Surface Parking Lot		X

f. Other: Entertainment	By Right	By CUP
Movie Theater (up to 5 screens)		X

g. Other: Agriculture	By Right	By CUP
Grain Storage		
Livestock Pen		
Green House		
Stable		
Kennel		

h. Other: Automotive	By Right	By CUP
Gasoline		
Automobile Service		
Truck Maintenance		
Drive-Through Facility		
Drive-In Facility		
Rest Stop		
Roadside Stand		
Billboard		
Shopping Mall		

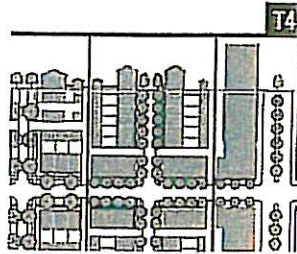
i. Other: Civil Support	By Right	By CUP
Fire Station	X	
Police Station	X	
Cemetery		X
Funeral Home		
Hospital		
Medical Clinic		X

j. Other: Education	By Right	By CUP
College		
High School		
Trade School		
Elementary School	X	
Other - Childcare Center	X	

k. Other: Industrial	By Right	By CUP
Heavy Industrial Facility		
Light Industrial Facility		
Truck Depot		
Laboratory Facility		
Water Supply Facility		
Sewer and Waste Facility		
Electric Substation		
Wireless Transmitter		
Cremation Facility		
Warehouse		
Produce Storage		
Mini-Storage		
Construction or Trade Contractors		
Manufacturing		

ARTICLE 3. BUILDING SCALE PLANS REVITALIZATION CODE: *City of Mesquite*

TABLE 3-3: Building Scale Plans: Graphics



BUILDING FUNCTION	
a. Residential	Limited use
b. Lodging	Limited use
c. Office	Limited use
d. Retail	Limited use

BUILDING CONFIGURATION	
a. Principal Building	3 stories max, 2 min
b. Outbuilding	2 stories max.

LOT OCCUPATION	
a. Lot Width	10 ft min 95 ft max
b. Lot Coverage	70% max

BUILDING DISPOSITION	
a. Edgeyard	permitted
b. Sideyard	permitted
c. Rearyard	permitted
d. Courtyard	

SETBACKS - PRINCIPAL BUILDING	
a. Front Setback (F)	6 ft. min. 18 ft. max.
b. Front Setback (S)	6 ft. min. 18 ft. max
c. Side Setback	0 ft. min.
d. Rear Setback	3 ft. min.*
e. Frontage Buildout	60% min at setback

SETBACKS - OUTBUILDING	
a. Front Setback	24 ft. min. + 1/2 ft. setback
b. Side Setback	0 ft. min. or 3 ft.
c. Rear Setback	3 ft. min.

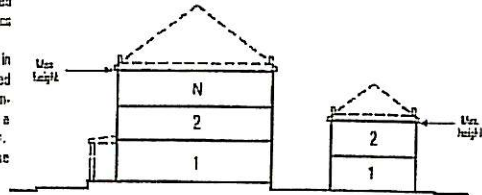
PRIVATE FRONTAGES	
a. Common Lawn	
b. Porch & Fence	permitted
c. Terrace or L.C.	permitted
d. Forecourt	permitted
e. Stoop	permitted
f. Shopfront & Awning	permitted
g. Gallery	
h. Arcade	

PARKING PROVISIONS

* or 15 ft. from center line of alley
 Graphics are illustrative only. Refer to metrics for Setback and height information.
 'N' stands for any Stories above those shown, up to the maximum. Refer to metrics for exact minimums and maximums.

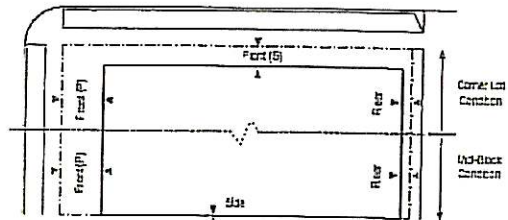
BUILDING CONFIGURATION

1. Building height shall be measured in number of Stories, excluding Attics and raised basements.
2. Stories may not exceed 14 feet in height from finished floor to finished ceiling, except for a first floor Commercial function which must be a minimum of 11 ft with no maximum.
3. Height shall be measured to the eave or roof deck.



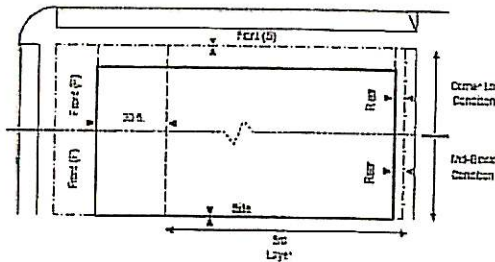
SETBACKS - PRINCIPAL BLDG.

1. The Facades and Elevations of Principal Buildings shall be distanced from the Lot Lines as shown.
2. Facades shall be built along the Principal Frontage to the minimum specified width in the table



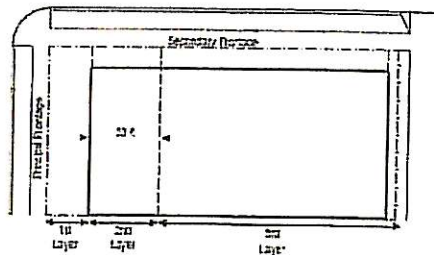
SETBACKS - OUTBUILDING

1. The Elevation of the Outbuilding shall be distanced from the Lot Lines as shown.



PARKING PLACEMENT

1. Uncovered parking spaces may be provided within the 3rd Layer as shown in the diagram
2. Covered parking shall be provided within the 3rd Layer as shown in the diagram
3. Trash containers shall be stored within the 3rd Layer



ARTICLE 3. BUILDING SCALE PLANS
REVITALIZATION CODE: *City of Mesquite*

3.4 PARKING & DENSITY CALCULATIONS

- a. Buildable Density on a Lot shall be determined by the sum of the actual parking that is provided:
 - i. According to Table 3-4
 - ii. Along the parking lane corresponding to the Lot Frontage; and
 - iii. By purchase or lease from a Civic Parking Reserve within the Neighborhood Sustainability Zone, if available.
- b. The actual parking may be adjusted upward according to the Shared Parking Factor of Table 3-4 to determine the Effective Parking. The Shared Parking Factor is available for any two Functions within any pair of adjacent Blocks.
- c. Based on the Effective Parking available, the Density of the projected Function may be determined according to Table 3-4.
- d. The total Density within each Transect Zone shall not exceed that specified by an approved Infill Regulating Plan.
- e. Accessory Units shall not count toward Density calculations.
- f. Liner Buildings less than 30 feet deep and no more than two Stories shall be exempt from parking requirements.

TABLE 3-4: Parking Calculation.

The Required Parking table summarizes the parking requirements of Table 3-1 for each site or, conversely, the amount of building allowed on each site given the parking available.

THN		SHARING FACTOR		
Residential	1.5 / dwelling	Function	with	Function
Lodging	1.0 / bedroom	RESIDENTIAL	RESIDENTIAL	RESIDENTIAL
Office	3.0 / 1000 sq. ft.	LODGING	LODGING	LODGING
Retail	4.0 / 100sq. ft.	OFFICE	OFFICE	OFFICE
Civic	To be determined by Warrant	RETAIL	RETAIL	RETAIL
Other	To be determined by Warrant			

3.5 PARKING AND ACCESS STANDARDS

- a. Parking shall be accessed by Rear Drives from the Secondary Frontage, including their extension through cross-access agreements. The Rear Drive shall serve as the primary access to the fire lane, if one is required.
- b. Open parking areas shall be masked from the Frontage by a Building or Street Screen.
 - i. Street Screens shall be between 3.5 and 8 feet in height and constructed of a material matching the adjacent building façade.
 - ii. Street Screens may be a hedge or fence by Warrant.
 - iii. Street Screens shall have openings no larger than is necessary to allow automobile and pedestrian access.
 - iv. All Street Screens over 4 feet high shall be 30% permeable or articulated to avoid blank walls.
- c. Driveways shall be limited to one per Frontage, and shall be no wider than 10 feet in the first Layer. Along the Primary or Secondary Grids:
 - i. A second Driveway may be approved by Warrant.

ARTICLE 3. BUILDING SCALE PLANS
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- ii. If a lot does not have Secondary Frontage, a wider Driveway may be approved when fire lane access is required because hose lay distances from the street are extended beyond the limits of the International Fire Code.
- d. All parking areas, carports and garages shall be located at the second or third Layer.
- e. Along the Primary Grid, a minimum of one city approved bicycle rack place shall be provided within the Public or Private Frontage for every ten vehicular parking spaces.
- f. A minimum of one tree shall be provided within surface parking lots for every five parking spaces. Each tree shall be placed in a landscape island no smaller than 9-feet by 18-feet, which is protected from vehicles through the use of concrete curbs, wheel stops, or other permanent barriers no less than 6 inches in height. The landscape islands shall be dispersed evenly throughout the surface parking lot. For Greenfield projects, trees existing on the lot at the time of application shall be incorporated into the surface parking lot, and credit toward the requirements of this section may be approved by Warrant.
- g. Along the Secondary Grid, Parking Structures are recommended due to large setbacks and heavy traffic flow.
- h. Parking Structures shall have Liner Buildings at the first Story or higher.

3.6 ARCHITECTURAL STANDARDS

3.6.1 All new construction, redevelopment or major rehabilitation along the Primary and Secondary Grids shall comply with the provisions of this Code as well as the requirements below:

- a. Compliance with the Community Appearance Manual
- b. Doors and windows that operate as sliders are prohibited along Frontages.
- c. Flat roofs shall be enclosed by parapets a minimum of 42 inches high, or as required to conceal mechanical equipment, whichever is greater.
- d. Balconies and Porches shall be made of painted wood.
- e. Fences, if provided within the First Lot Layer, shall be wrought iron with a maximum height of three and one-half (3½) feet. Fences at other Layers shall be wrought iron with a minimum height of six (6) feet and maximum height of eight (8) feet. Chain link is prohibited.
- f. A fence and dense landscape screen shall be installed on the lot lines abutting a residential function either within or outside the District. Fences shall include gates for pedestrian accessibility, where appropriate.
- g. All new construction shall be equipped with an automatic approved sprinkler system.

3.6.2 All new construction, redevelopment or major rehabilitation along the Tertiary Grid shall comply with the provisions of this Code as well as the requirements below:






- a. The front Setback shall fall within the Range.
- b. The height and width of the primary Façade of new buildings shall fall within the Range.
- c. The height of new foundations shall fall within the Range.
- d. The height and width of porches shall fall within the Range.
- e. The pitch of new roofs shall be designed to fall within the Range.
- f. Façade and Elevation materials shall consist of clapboard-like materials such as cement fiberboard. Masonry is prohibited.
- g. For additions, the Façade and Elevation materials, roof materials, doors and windows shall be compatible to those original to the house.

ARTICLE 3. BUILDING SCALE PLANS
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- h. Additions shall be made to the rear or side of the house only. Additions taller than the primary Façade shall be made to the rear of the house to keep the original scale of the Façade consistent with adjacent buildings.
 - i. Doors and windows that operate as sliders are prohibited.
 - j. Balconies and Porches shall be made of painted wood.
 - k. Fences, if provided within the First Lot Layer, shall be painted wood or wrought iron with a maximum height of three and one-half (3½) feet and not less than 50 percent through vision. Fences at other Layers may be of wood board, painted wood or wrought iron. Chain link is prohibited.
- 3.6.3 All new construction, redevelopment or major rehabilitation along the Tertiary Grid on the west side of N. Galloway Ave. that reorients the Principal Entrance and the Principal Frontage to N. Galloway Avenue and that incorporates a non-residential function shall comply with Section 3.6.1.
- 3.7 **LANDSCAPE STANDARDS OUTSIDE THE PUBLIC FRONTAGE**
- a. Impermeable surface shall be limited to the ratio of Lot coverage specified in Appendix 2(F).
 - b. The first Layer shall not be paved, with the exception of Driveways as specified in Section 3.5c (Article 4: Illustrated Definitions-d).
 - c. A minimum of one tree shall be planted within the first Layer for each 30 feet of Frontage Line or portion thereof (Article 4: Illustrated Definitions-d).
 - d. The species shall be a single species to match the species of street trees on the Public Frontage, or as shown on Table 3-8A and Appendix 3.
 - e. Not less than 20 percent of the Private Frontage in the Primary and Secondary Grids shall be improved with landscape beds.
 - f. Landscaping installed to meet the requirements of this section shall be of a species indicated in Appendix 3.

ARTICLE 3. BUILDING SCALE PLANS
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TABLE 3-5A: Public Planting: Street trees vary in their form and also in their suitability for urban use. The shape of the canopy must integrate with the degree of setback within the District. For this District there are five common types of street tree shapes that are appropriate. The Planning Division shall select the species that are appropriate for the bioregion.

Type	Illustration	Recommended Street Tree Species
Oval		Aristocrat Pear Red Oak Southern Magnolia
Ball		Chinese Pistachio Golden Rain Purple Leaf Plum Vitex
Pyramid		Arizona Cypress Pond Cypress
Umbrella		Red Bud Thornless Honey Locust
Vase		American Elm Cedar Elm Lacebark Elm

ARTICLE 3. BUILDING SCALE PLANS
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3.8 SIGNAGE STANDARDS

Signage in the District shall be restricted to the following sign types and specifications:



- a. Along the Tertiary Grid: One blade sign for each non-residential function may be permanently installed perpendicular to the Facade within the First Layer. Such a sign shall not exceed a total of 4 square feet and shall clear 8 feet above the Sidewalk. Signage for new construction, redevelopment or major rehabilitation that qualifies under Section 3.6.3 shall be approved by Warrant.
- b. Along the Primary Grid: One wall sign, window signs, and signs permitted in the Tertiary Grid. The wall sign shall be applied to the Facade of each building, and shall not exceed 3 feet in height, one-third the width of the façade, and a total of 40 square feet. Signage shall be externally illuminated, except that window signage within the Shopfront glazing may be neon lit.
- c. Along the Secondary Grid: One monument sign, and signs permitted in the Primary Grid.
- d. Along all grids: The address number, no more than 6 inches measured vertically, shall be attached to the building in proximity to the Principal Entrance or at a mailbox.

3.9 AMBIENT STANDARDS

- a. Average lighting levels measured at the building Frontage shall not exceed 2.0 fc (foot-candles).
- b. Streetlights shall be of a general type illustrated in Table 3-9.

TABLE 3-9: Public Lighting:

Lighting varies in brightness and also in the character of the fixture according to the Transect Zone. Thus, the table establishes public lighting types that are suitable for the General Urban Zone.

Type	Illustration
Post	
Column	

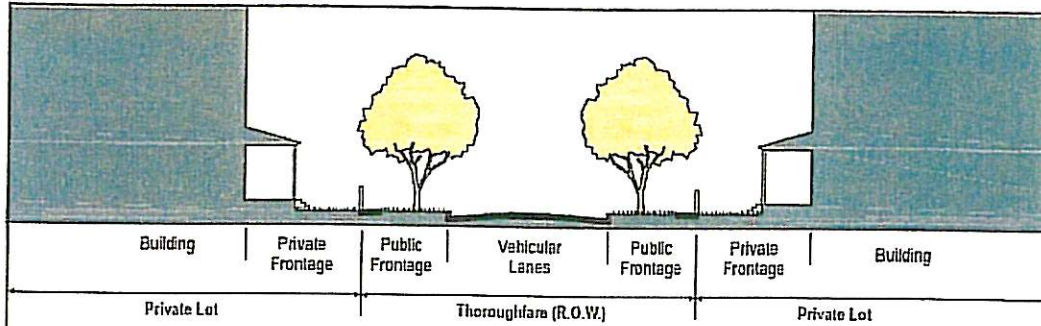
3.10 UTILITY STANDARDS

Utilities in the District shall be placed according to the specifications in Section 2.7.

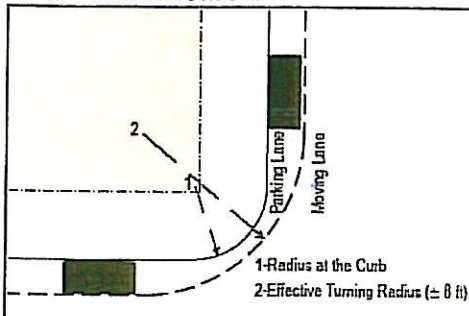
ARTICLE 4. DEFINITIONS OF TERMS REVITALIZATION CODE: *City of Mesquite*

Illustrated Definitions

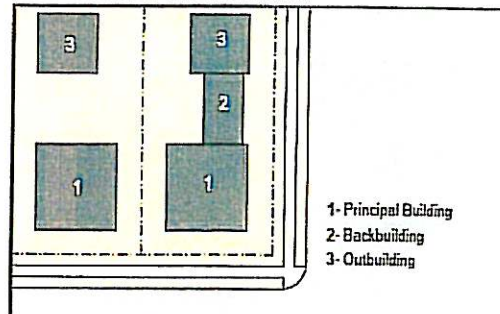
a. ROADWAY & FRONTAGES



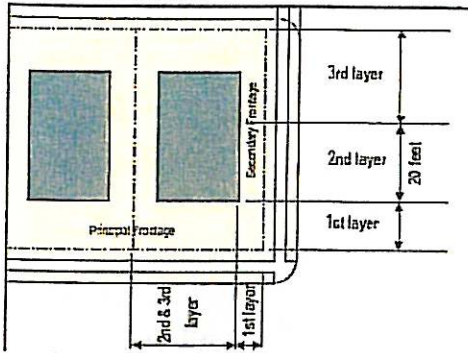
b. TURNING RADIUS



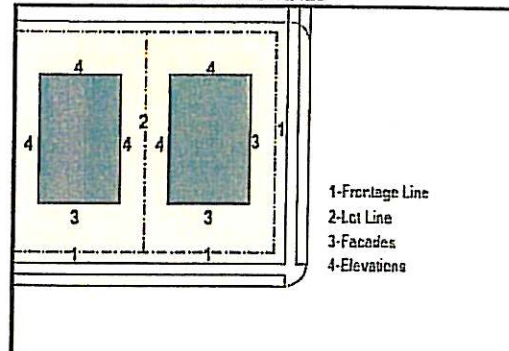
c. BUILDING DISPOSITION



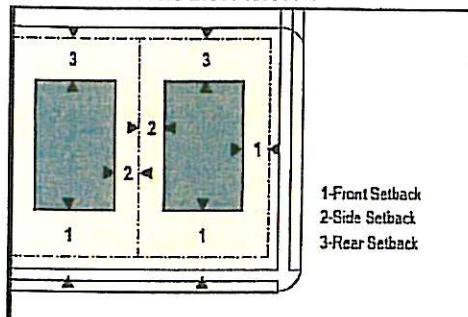
d. LOT LAYERS



e. FRONTAGE & LOT LINES



f. SETBACK DESIGNATIONS



ARTICLE 4. DEFINITIONS OF TERMS

REVITALIZATION CODE: *City of Mesquite*

The remainder of Article 4 provides definitions for terms in this Code that are technical in nature or that otherwise may not reflect a common usage of the term. If a term is not defined in this Article, then the Planning Division shall determine the correct definition of the term based on industry planning standards.

DEFINITIONS

- Accessory Building:** an Outbuilding with an Accessory Function or Accessory Unit.
- Accessory Function:** a use conducted in conjunction with, incidental to, and commonly associated with, the principal function of the lot
- Accessory Unit:** an Apartment sharing ownership and utility connections with a Principal Building (see Illustrated Definitions).
- Allee:** a regularly spaced and aligned row of trees usually planted along a Roadway or Path.
- Apartment:** a Residential unit sharing a building and a Lot with other units and/or uses.
- Arcade:** a Private Frontage conventional for Retail use wherein the Façade is a colonnade that overlaps the Sidewalk, while the Façade at Sidewalk level remains at the Frontage Line.
- Arterial:** According to AASHTO, the Arterial system carries most of the trips entering and leaving the urban area, as well as most of the through movements bypassing the central city. In addition, significant intra-area travel, such as between urban centers, is served by this class of facility. The Arterial system may carry intra-urban as well as intercity bus routes. Lastly, this system provides continuity for all rural arterials that intercept the urban boundary.
- Attic:** the interior part of a building contained within its roof structure.
- Avenue (AV):** a Roadway of high vehicular capacity and low to moderate speed, acting as a short distance connector between urban centers, and usually equipped with a landscaped median.
- Backbuilding:** a single-story structure connecting a Principal Building to an Outbuilding (see Illustrated Definitions).
- Base Density:** the number of dwelling units per acre before adjustment for other Functions. See Density.
- Bed and Breakfast:** an owner-occupied Lodging type offering 1 to 5 bedrooms, providing, for a fee, sleeping accommodations and customary lodging services, permitted to serve breakfast in the mornings to guests.
- Bicycle Lane (BL):** a dedicated bicycle lane running within a moderate-speed vehicular Roadway, demarcated by striping.
- Bicycle Route (BR):** a Roadway suitable for the shared use of bicycles and automobiles moving at low speeds.
- Bicycle Trail (BT):** a bicycle way running independently of a high-speed vehicular Roadway.
- Block:** the aggregate of private Lots, Passages and Rear Drives, circumscribed by Roadways.
- Block Face:** the aggregate of all the building Facades on one side of a block.
- Building of Value:** a structure designated for protection by Historic Mesquite, Inc.
- By Right:** characterizing a proposal or component of a proposal for a Infill Regulating Plan that complies with the Code and is permitted and processed administratively, without public hearing. See Warrant.
- Civic:** the term defining not-for-profit organizations dedicated to arts, culture, recreation, government, transit, and municipal parking.
- Civic Building:** a building operated by not-for-profit organizations dedicated to arts, culture, recreation, government, transit, and municipal parking, or for use approved by the legislative body.
- Civic Parking Reserve:** Parking Structure or lot within a quarter-mile of the site that it serves.
- Civic Space:** an outdoor area dedicated for public use. Civic Space types are defined by the combination of certain physical constants including the relationship between their intended use, their size, their landscaping and their Enfronting buildings.
- Civic Zone:** designation for public sites dedicated for Civic Buildings and Civic Space.
- Code:** the Truman Heights Revitalization Code.

ARTICLE 4. DEFINITIONS OF TERMS

REVITALIZATION CODE: *City of Mesquite*

Collector: According to AASHTO, the Collector system provides both land access service and traffic circulation within Residential neighborhoods and Commercial and Industrial areas. Facilities on the Collector system may penetrate residential neighborhoods, distributing trips from arterials through the area to their ultimate destinations. The Collector system also collects traffic from Local streets in residential neighborhoods and channels it into the Arterial system. The Collector system may carry local bus routes.

Commercial: the term collectively defining workplace, Office, Retail, and Lodging functions.

Common Destination: An area of focused Community activity, usually defining the approximate center of a Neighborhood Sustainability Zone. It may include without limitation one or more of the following: a Civic Space, a Civic Building, a Commercial center, or a transit station, and may act as the social center of a neighborhood.

Common Lawn: a planted Private Frontage wherein the Façade is set back from the Frontage Line. It is visually continuous with adjacent yards.

Community: a regulatory category defining the physical form, Density, and extent of a settlement. The Community type addressed in this Code is an Infill TND.

Community Appearance Manual: regulations set forth by the City of Mesquite to control external architectural design, materials and quality.

Configuration: the form of a building, based on its massing, Private Frontage, and height.

Corridor: a lineal geographic system incorporating transportation and/or greenway trajectories. A transportation corridor may be a lineal urban Transect Zone.

Cottage: an Edgeward building type. A single-family dwelling, on a regular lot, often shared with an Accessory Building in the back yard.

Courtyard: a building that occupies the boundaries of its Lot while internally defining one or more private patios.

Curb: the edge of the vehicular pavement detailed as a raised curb or flush to a swale. The Curb usually incorporates the drainage system.

Curb Radius: the measurement of the inside Turning Radius (see Illustrated Definitions).

Density: the number of dwelling units within a standard measure of land area

Design Speed: is the velocity at which a Roadway tends to be driven without the constraints of signage or enforcement. There are four ranges of speed: Very Low: (below 20 MPH); Low: (20-25 MPH); Moderate: (25-35 MPH); High: (above 35 MPH). Lane width is determined by desired Design Speed.

Development Review Committee (DRC): Usually part of the Planning Office, a DRC is comprised of a representative from each of the various regulatory agencies that have jurisdiction over the permitting of a project.

Director: the Director of Community Development for the City of Mesquite

Display Gallery: An establishment engaged in the sale, loan, or exhibition of original works of art or limited editions of original art.

Disposition: the placement of a building on its Lot (see Illustrated Definitions).

District: area on the Zoning Map where the Code is the exclusive and mandatory zoning regulation (Syn. Truman Heights Neighborhood District).

Dooryard: see Terrace.

Driveway: a vehicular lane within a Lot, often leading to a garage.

Duplex: 2 dwelling units connected by common wall. A duplex may be located on one lot or on separate lots.

Edgeward Building: a building that occupies the center of its lot with setbacks on all sides.

Effective Parking: the amount of parking required for Mixed Use after adjustment by the Shared Parking Factor.

Effective Turning Radius: the measurement of the inside Turning Radius taking parked cars into account (see Illustrated Definitions).

Elevation: an exterior wall of a building not along a Frontage Line (see: Façade; Illustrated Definitions).

ARTICLE 4. DEFINITIONS OF TERMS

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Encroachment: any structural element that breaks the plane of a vertical or horizontal regulatory limit, extending into a Setback, into the Public Frontage, or above a height limit.

Enfront: to place an element along a Frontage, as in "porches Enfront the street."

Estate House: an Edgeward building type. A single-family dwelling on a very large lot of rural character, often shared by one or more Accessory Buildings.

Facade: the exterior wall of a building that is set along a Frontage Line (see Elevation; Frontage Line).

Flex Building: see Live-Work.

Frontage: the area between a building Facade and the vehicular lanes, inclusive of its built and planted components. Frontage is divided into Private Frontage and Public Frontage.

Frontage Line: a Lot line bordering a Public Frontage. Facades facing Frontage Lines define the public realm and are therefore more regulated than the Elevations facing other Lot Lines (see Illustrated Definitions).

Function: the use or uses accommodated by a building and its Lot, categorized as *Restricted, Limited, or Open*, according to the intensity of the use.

Gallery: a Private Frontage conventional for Retail use wherein the Facade is aligned close to the Frontage Line with an attached cantilevered shed or lightweight colonnade overlapping the Sidewalk.

General Urban Zone: (T-4) consists of a mixed use but primarily residential urban fabric. It may have a wide range of building types: single, Sideyard, and Rowhouses. Setbacks and landscaping are variable. Streets with Curbs and Sidewalks define medium-sized Blocks.

Green: An Open Space, available for unstructured recreation. A Green may be spatially defined by landscaping rather than building Frontages. Its landscape shall consist of lawn and trees, naturalistically disposed. The minimum size shall be $\frac{1}{2}$ acre and the maximum shall be 8 acres.

Greenfield: an area that consists of open or wooded land or farmland that has not been previously developed.

Greenway: an open space corridor in largely natural conditions which may include Trails for bicycles and pedestrians.

Growth Sector: one of four Sectors where development is permitted By Right in the SmartCode, three for New Communities and one for Infill. The Truman Heights Neighborhood District falls within the Infill Growth Sector (G4).

Highway: a rural and suburban Roadway of high vehicular speed and capacity. This type is allocated to the more rural Transect Zones (T-1, T-2 and T-3)

House (Syn.: Single): an Edgeward building type, usually a single-family dwelling on a large lot, often shared with an Accessory Building in the back yard.

Hotel: a Lodging type, owner-occupied, offering at least 12 rooms with no room limit; providing, for a fee, sleeping accommodations and customary lodging services. Related ancillary uses may include conference and meeting rooms, restaurants, bars, and recreational facilities.

Infill: *noun* - new development on land that had been previously developed, including most Greyfield and Brownfield sites and cleared land within urbanized areas. *verb* - to develop such areas.

Infill Traditional Neighborhood Development (TND): a Community type within an urbanized, Greyfield, or Brownfield area based on the General Urban Zone and a Neighborhood Sustainability Zone. An Infill TND is permitted By Right in the G-4 Infill Growth Sector and is regulated by Article 2. For further information on TND see Traditional Neighborhood Development.

Inn: a Lodging type, owner-occupied, offering 6 to 12 bedrooms, providing, for a fee, sleeping accommodations and customary lodging services, permitted to serve breakfast in the mornings to guests.

Kiosk: a structure that may be constructed somewhere other than the lot on which it is placed or which is comprised of parts that are constructed elsewhere and assembled on a lot, and which is designed and intended to be used primarily for retail sale, display, and accessory advertising of food or merchandise.

Layer: a range of depth of a Lot within which certain elements are permitted (see Illustrated Definitions).

ARTICLE 4. DEFINITIONS OF TERMS

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Lightwell: A Private Frontage type that is a below-grade entrance or recess designed to allow light into basements.

Liner Building: a building specifically designed to mask a parking lot or a Parking Structure from a frontage.

Live-Work: a Mixed Use unit consisting of a Commercial and Residential Function. The Commercial Function may be anywhere in the unit. It is intended to be occupied by a business operator who lives in the same structure that contains the Commercial activity or industry (see Work-Live). (Syn.: flexhouse.)

Local: According to AASHTO, a local street is mainly for residential facilities. It primarily permits direct access to abutting lands and connections to Collectors and Arterials. It offers the lowest level of mobility and usually contains no bus routes. Service to through-traffic movement usually is deliberately discouraged.

Lodging: premises available for daily and weekly renting of bedrooms.

Lot: a parcel of land accommodating a building or buildings of unified design. The size of a Lot is controlled by its width in order to determine the grain (i.e., fine grain or coarse grain) of the urban fabric.

Lot Line: the boundary that legally and geometrically demarcates a Lot.

Lot Width: the length of the Principal Frontage Line of a Lot.

Metrics: the variables that define the form-based elements of the Truman Heights Revitalization Code.

Mixed Use: multiple Functions within the same building through superimposition or adjacency, or in multiple buildings within the same area by adjacency. Mixed use is one of the principles of TND development from which many of its benefits are derived, including compactness, pedestrian activity, and parking space reduction.

Natural Zone: (T-1) consists of lands approximating or reverting to a wilderness condition, including lands unsuitable for settlement due to topography, hydrology or vegetation.

Neighborhood: The smallest subarea in planning, defined as a Residential area whose residents have public facilities, social institutions, and Commercial buildings within walking distance of their homes. See Traditional Neighborhood Development.

Neighborhood Sustainability Zone: an area, approximately circular, that is centered on a Common Destination. A Neighborhood Sustainability Zone is applied to determine the approximate size of a Neighborhood. A Neighborhood Sustainability Zone is 1/4 mile radius or 1320 feet, about the distance of a five-minute walk at a leisurely pace. It has been shown that provided with a pedestrian environment, most people will walk this distance rather than drive. The outline of the shed must be refined according to actual site conditions, particularly along Roadways. The Common Destination should have the present or future capacity to accommodate a T5 Transect Zone for TND.

Office: premises available for the transaction of general business but excluding Retail, artisanal and Manufacturing uses.

Open Space: land intended to remain undeveloped; it may be reserved for Civic Space.

Open-Market Building: the sale or display of retail merchandise or services outside of a permanent structure, including but not limited to the sale of fruits, vegetables, shrubbery, plants, seeds and other home garden supplies.

Outbuilding: an Accessory Building, usually located towards the rear of the same Lot as a Principal Building. It is sometimes connected to the Principal Building by a Backbuilding (see Illustrated Definitions).

Park: a Civic Space type that is a natural preserve available for unstructured recreation.

Parking Structure: a building containing two or more Stories of parking.

Passage (PS): a pedestrian connector, open or roofed, that passes between buildings to provide shortcuts through long Blocks and connect rear parking areas to Frontages.

Path (PT): a pedestrian way traversing a Park or rural area, with landscape matching the contiguous Open Space, ideally connecting directly with the urban Sidewalk network.

Planter: the element of the Public Frontage which accommodates street trees, whether continuous or individual.

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- Porch:** a covered area projecting from and structurally connected to a building.
- Primary-Secondary-Tertiary Grid:** designations appearing on the Infill Regulating Plan: Special Requirements, which vary according to the degree of support for pedestrian activity, architectural and signage standards, and procedural requirements.
- Principal Building:** the main building on a Lot, usually located toward the Frontage (see Illustrated Definitions).
- Principal Entrance:** the main point of access for pedestrians into a building.
- Principal Frontage:** On corner Lots, the Private Frontage along a Primary or Secondary Grid.
- Private Frontage:** the privately held Layer between the Frontage Line and the Principal Building Façade (see Illustrated Definitions).
- Public Frontage:** the area between the Curb of the vehicular lanes and the Frontage Line.
- Range (e.g., setback):** the variation, if any, in the actual referenced dimension or specification of existing buildings on two or more adjacent lots.
- Rear Drive (RD):** a vehicular driveway located to the rear of lots providing access to service areas and parking. Drives should be paved from building face to building face, with drainage by inverted crown at the center or with roll curbs at the edges.
- Rearyard Building:** a building that occupies the full frontage line, leaving the rear of the lot as the sole yard. This is a more urban type, as the continuous façade spatially defines the public Roadway. For its residential function, this type yields a Rowhouse. For its Commercial function, the rear yard can accommodate substantial parking.
- Regulating Plan:** a Zoning Map or set of maps that shows the Transect Zones, Civic Zones, and Special Requirements, of areas subject to, or potentially subject to, regulation by the Code.
- Residential:** premises available for long-term human dwelling.
- Restaurant:** a Retail establishment where food and beverages are prepared, served, and consumed primarily within the principal building.
- Retail:** premises available for the sale of merchandise and food service.
- Retail Frontage:** Frontage designated on a Regulating Plan that requires or recommends the provision of a Shopfront, encouraging the ground level to be available for Retail use (see Special Requirements).
- Roadway:** a way for use by vehicular and pedestrian traffic and to provide access to Lots and Open Spaces, consisting of Vehicular Lanes and the Public Frontage. According to the Thoroughfare Plan, Roadways fall into a hierarchy from Local, to Collector, to Arterial.
- Rowhouse:** a single-family dwelling that shares a party wall with another of the same type and occupies the full Frontage Line (Syn: Townhouse; see Rearyard Building).
- School Dormitory:** a building intended or used principally for sleeping accommodations where such building is related to an educational institution.
- Secondary Frontage:** On corner lots, the Private Frontage that is not the Principal Frontage. As it affects the public realm, its first Layer is regulated.
- Secondary Grid:** see Primary-Secondary-Tertiary Grid.
- Sector:** a neutral term for a geographic area. In the SmartCode template there are six specific Sectors that establish the legal boundaries for several kinds of development. The Truman Heights Neighborhood District falls within an Infill Growth Sector. Sectors address the legal status of place at the regional scale while Transect Zones address the physical character of communities. Sectors contain Community Types (the District is an Infill TND Community Type), which contain Transect Zones. Each Transect Zone contains design standards appropriate to those T-Zones (the District has two Transect Zones: T-4 General Urban and T-1 Natural).
- Sexually Oriented Business:** commercial activities regulated by Chapter 12 of the City Code of the City of Mesquite.
- Setback:** the area of a lot measured from the lot line to a building facade or elevation. This area must be maintained clear of permanent structures with the exception of: galleries, fences, garden walls, arcades, porches, stoops, balconies, bay windows, terraces and decks (that align with the first story level) which are permitted to encroach into the Setback.

ARTICLE 4. DEFINITIONS OF TERMS
REVITALIZATION CODE: *City of Mesquite*

Shared Parking Factor: an accounting for parking spaces that are available to more than one Function and which is calculated by adding the total number of spaces required by each separate function and dividing the total by the appropriate factor from the Sharing Factor matrix.

Shopfront: a Private Frontage conventional for Retail use, with substantial glazing and an awning, wherein the Facade is aligned close to the Frontage Line with the building entrance at Sidewalk grade.

Sidewalk: the paved section of the Public Frontage dedicated exclusively to pedestrian activity.

Sideyard Building: a building that occupies one side of the lot with a setback to the other side.

Smart Code: the model *Smart Code Version 9.0*.

Specialized Building: a building that is not subject to Residential, Commercial, or Lodging classification. Most specialized buildings are dedicated to manufacturing and transportation, and are distorted by the trajectories of machinery.

Special Requirements: provisions of Section 2.8 of this Code and/or the associated designations on a Regulating Plan or other map for those provisions.

Square: a Civic Space type designed for unstructured recreation and Civic purposes, spatially defined by building Frontages and consisting of Paths, lawns and trees, formally disposed.

Stoop: a Private Frontage wherein the Facade is aligned close to the Frontage Line with the first Story elevated from the Sidewalk for privacy, with an exterior stair and landing at the entrance.

Story: a habitable level within a building of no more than 14 feet in height from finished floor to finished ceiling. Attics and raised basements are not considered stories for the purposes of determining building height.

Street (ST): a local urban Roadway of low speed and capacity. Its public frontage consists of raised curbs drained by inlets and sidewalks separated from the vehicular lanes by a planter and parking on both sides. The landscaping consists of regularly placed street trees.

Streetscape: the urban element that establishes the major part of the public realm. The streetscape is composed of Roadways (travel lanes for vehicles and bicycles, parking lanes for cars, and sidewalks or paths for pedestrians) as well as the visible private frontages (building facades and elevations, porches, yards, fences, awnings, etc.), and the amenities of the public frontages (street trees and plantings, benches, streetlights, etc.).

Street Screen: sometimes called Street Wall. A freestanding wall built along the frontage line, or coplanar with the facade, often for the purpose of masking a parking lot from the Roadway.

Substantial Modification: alterations to a building that are valued at more than 50% of the replacement cost of the entire building, if new.

T-Zone: Transect Zone.

Terminated Vista: a location at the axial conclusion of a Roadway.

Terrace: a Private Frontage type with a shallow Setback and front garden or patio, usually with a low wall at the Frontage Line. (Variant: *Lightwell*) (syn. *Dooryard*)

Tertiary Grid: see Primary-Secondary-Tertiary Grid.

Tier: synonym for Sector.

Traditional Neighborhood Development (TND): a Community type structured by a Standard Neighborhood Sustainability Zone oriented toward a Common Destination consisting of a Mixed Use center or Corridor, and in the form of a medium-sized settlement near a transportation route. A TND is designed to include a range of housing types, a network of well-connected streets and blocks, civic spaces, civic buildings, and have amenities such as stores, schools, and places of worship within walking distance of residences. (Variant: *Infill TND*, *Neighborhood*.)

Townhouse: Syn. *Rowhouse*. (See *Rearyard Building*.)

Transect: a cross-section of the environment showing a range of different habitats. The rural-urban Transect of the human environment used in the SmartCode template is divided into six Transect Zones. These zones describe the physical form and character of a place, according to the Density and intensity of its land use and urbanism.

ARTICLE 4. DEFINITIONS OF TERMS
REVITALIZATION CODE: *City of Mesquite*

Transect Zone (T-Zone): One of several areas on a Zoning Map regulated by the Code. Transect Zones are administratively similar to the land use zones in conventional codes, except that in addition to the usual building use, Density, height, and Setback requirements, other elements of the intended habitat are integrated, including those of the private Lot and building and Public Frontage.

Transit Route: an existing or planned route for public service in the local or regional transportation plan.

Truman Heights Neighborhood District: area on the Zoning Map where the Code is the exclusive and mandatory zoning regulation. (Syn. District)

Truman Heights Neighborhood Plan: A document adopted by the City Council on March 19, 2007, as a part of the comprehensive plan for the city containing public policies relating to the Truman Heights Neighborhood.

Turning Radius: the curved edge of a Roadway at an intersection, measured at the inside edge of the vehicular tracking. The smaller the Turning Radius, the smaller the pedestrian crossing distance and the more slowly the vehicle is forced to make the turn (see Illustrated Definitions).

Warrant: a ruling that would permit a practice that is not consistent with a specific provision of this Code, but that is justified by its Intent (Section 1.3).

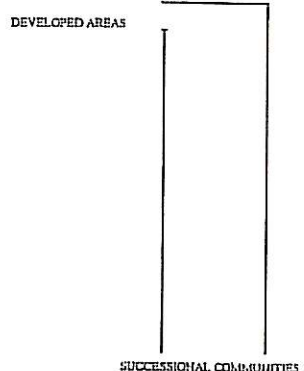
Work-Live: a Mixed Use unit consisting of a Commercial and Residential Function. It typically has a substantial Commercial component that may accommodate employees and walk-in trade. The unit is intended to function predominantly as work space with incidental Residential accommodations that meet basic habitability requirements (see Live-Work).

Yield: characterizing a Roadway that has two-way traffic but only one effective travel lane because of parked cars, necessitating slow movement and driver negotiation. **Zoning Map:** the official map or maps that are part of the zoning ordinance and delineate the boundaries of individual zones and districts (see Regulating Plan).

Zoning Map: the official map or maps that are part of the zoning ordinance and delineate the boundaries of individual zones and districts (see Regulating Plan).

APPENDIX
 REVITALIZATION CODE: *City of Mesquite*

APPENDIX I: Sector/Community Allocation. Appendix I defines the geography, including both natural and infrastructure elements, determining areas that are or are not suitable for development. Specific Community types of various intensities are allowable in specific Sectors. This table also allocates the proportions of Transect Zones within each Community Type.



C1	
INDUSTRIAL	
RCD	
TND	RCD
T1	
T2	
T3	
T4	INDUSTRIAL
T5	INDUSTRIAL
T6	INDUSTRIAL

APPENDIX REVITALIZATION CODE: *City of Mesquite*

APPENDIX 2: Revitalization Code Summary



General Urban Zone

A. ALLOCATION OF ZONES	
CLD	Variable
TRD	Variable
RCD	Variable
B. BASE RESIDENTIAL DENSITY	
By Right	Variable
Other Functions	Variable
C. BLOCK SIZE	
Block Perimeter	2400 ft. max
D. PUBLIC FRONTAGES (see Tables 2-2 and 2-3A-C)	
AV	Permitted
SI	Permitted
Rear Lane	Permitted
Rear Alley	Required
Path	Permitted
Passage	Permitted
Bicycle Trail	Not Permitted (permitted within the Natural Zone)
Bicycle Lane	Permitted
Bicycle Route	Permitted
E. CIVIC SPACES	
Green	Permitted
Square	Permitted
Playground	Permitted
F. LOT OCCUPATION	
Lot Width	15 ft. min 96 ft. max
Lot Coverage	70% max
G. SETBACKS - PRINCIPAL BUILDING	
Front Setback (Principal)	6 ft. min 15 ft. max
Front Setback (Secondary)	6 ft. min 15 ft. max
Side Setback	0 ft. total min
Rear Setback	3 ft. min (or 15 ft. from center line of alley)
Frontage Buildout	60% min
H. SETBACKS - OUTBUILDING	
Front Setback	24 ft. min + building setback
Side Setback	0 ft. min. or 3 ft.
Rear Setback	3 ft.
I. BUILDING DISPOSITION (see Figure 3-1)	
Edgeward	Permitted
Sideyard	Permitted
Rearyard	Permitted
J. PRIVATE FRONTAGES (see Figure 3-3)	
Parch & Fence	Permitted
Terrace or L.C.	Permitted
Stoop	Permitted
Shopfront & Awning	Permitted
K. BUILDING HEIGHT (See Figure 3-2)	
Principal Building	3 stories max, 2 min
Outbuilding	2 stories max
L. BUILDING FUNCTION (See Table 3-1 & Table 3-2)	
Residential	Limited Use
Loading	Limited Use
Office	Limited Use
Retail	Limited Use

APPENDIX
REVITALIZATION CODE: *City of Mesquite*

APPENDIX 3: Xeriscape - North Texas
Heat & Drought-Tolerant Plants
Native & Adapted

Shade Trees - Large Canopy

American Elm (Vase)	Post Oak (Vase)
Black Hickory (Oval)	Red Maple (Vase)
Bur Oak (Vase)	Red Oak (Oval)
Cedar Elm (Vase)	Southern Magnolia (Oval)
Chinese Tallow (Ball)	Sweetgum (Vase)
Chinkapin Oak (Vase)	Thornless Honey
Green Ash (Ball)	Locust (Umbrella)
Lacebark Elm (Vase)	White Oak (Vase)
Live Oak (Umbrella)	Winged Elm (Vase)
Mesquite (Umbrella/Vase)	
Pecan-Hickory (Vase)	

Shade Trees - Small Canopy

Bald Cypress (Oval)	Ginkgo (Vase)
Chinese Pistachio (Ball)	Goldenrain Tree (Ball)
Desert Willow (Vase)	River Birch (Vase)

Evergreen Trees

Arizona Cypress (Pyramid)	Eastern Red Cedar (Pyramid)
Austrian Pine (Ball)	Japanese Black Pine (Ball)
Deodar Cedar (Pyramid)	Savannah Holly (Oval)

Ornamental Trees

Aristocrat Pear (Oval)	Purple Leaf Plum (Ball)
Crab Apple (Ball)	Red Bud (Umbrella)
Crape Myrtle (Vase)	Wax Myrtle (Ball)
Deciduous Holly (Vase)	Yaupon Holly (Ball)
Flowering Peach (Ball)	Vitex (Ball)

Other Protected Trees

Pond Cypress (Pyramid)	Western Soapberry (Vase)
Texas Ash (Ball)	

Shrubs & Woody

Annuals

Abelia	Fragrant Sumac
Agarito	Red Yucca
Althea	Salvia Species
American Beauty Berry	Texas Sage
Arkansas Yucca	Texas Star Hibiscus
Blue Carpet Juniper	Texas Lantana
Copper Canyon Daisy	Turk's Cap
Flame Acanthus	

Perennial & Annual

Native Plants

Barbra's Buttons	Mexican Hat
Bergamot	Millweed
Big Red Saliva	Missouri Primrose
Bitterweed	Moss Rose
Blackfoot Daisy	Partridge Pea
Bluebonnets	Pink Evening Primrose
Blue-eyed Grass	Prairie Verbena
Blue Flax	Purple Cone Flower (Echinaceae Apec.)
Calyophus	Rudbeckia
Cedar Sage	Ruellia
Coreopsis	Salvia Coccinia
Cow Pen Daisy	Skullcap
Drummond Phlox	Snow-on-the-Prairie
Engelmann Daisy Fall	Spiderwort
Obedient Plant	Spring Rain Lily
Eryngo	Standing Cypress
Fall Obedient Plant	Texas Bluebell
Four-nerve Daisy (Hymenoxys)	Two-leafed Senna
Gaillardia	Wild Ageratum
Green-thread	Wild Foxglove (P. cobeia)
Horsemint	Wild Hyacinth
Lantana species	Wine-cups
Liatris Species	Zexmenia
Maximillian Sunflower	
Mealy Blue Sage	

Ground Covers and Vines, Natives

Cardinal Vine	Frogfruit
Carolina Jessamine	Horsesherb
Climbing Prairie Rose	Hyacinth Bean Vine
Coralberry	MO Violets
Coral Honeysuckle	Trumpet Vine
Crossvine	Passion Vine
Cypress Vine	

Non-Native

Ajuga	Mondo Grass
Artemesia	Sedum
Asian Jasmine	Thrift
English Ivy	Vinca Minor
Lirope	

Grasses

Big Blue Stem	Inland Scaots
Buffalo Grass	Lindheimer Muhly
Eastern Gamma Grass	Little Bluestem
Gulf Muhly	Seep Muhly
Indian Grass	Sideoats Grama